

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS: That, ERB Realty Associates, a New Hampshire Partnership, with a place of business c/o Nungesser & Hill, P. O. Box 665, Meredith, Belknap County, New Hampshire 03253, for consideration paid, grants an undivided Fifty per cent (50%) interest to the Center Harbor Christian Fellowship, a New Hampshire Voluntary Corporation, with a place of business at Bead Road, Moultonboro, N.H. (mailing address of Centre Harbor, NH 03226), with QUITCLAIM COVENANTS:

A certain tract or parcel of land, with any improvements thereon, situate in Moultonboro, Carroll County, New Hampshire, on the easterly side of the Bean Road, shown as Lot #2 on plan "Subdivision of Land of E.R.B. Realty Associates, Tax Map 40, Lot 38, Bean Road, Moultonborough, Carroll County, N.H." by Dolan & DeForest Associates, further bounded and described as follows:

Beginning at a point on the easterly side of Bean Road at the westerly most corner of Lot 2 herein conveyed; thence on Lot 1 N 62-58-18 E, a distance of 252.28 feet to a point; thence turning and running on Lot 1, S 27-01-42 E, a distance of 12.96 feet to a stone wall; thence on stone wall and Lot 1, N 60-53-45 E, a distance of 65.49 feet to a point; thence on stone wall and Lot 1, N 57-00-25 E, a distance of 172.26 feet to a point; thence turning and running on Lot 1, N 08-36-24 E, a distance of 229.44 feet to a point; thence on Lot 1, N 10-40-47 W, a distance of 252.47 feet to a point; thence on Lot 1, N 85-19-37 W, a distance of 300.11 feet to a point at Bean Road; thence on Bean Road N 27-52-59 W, a distance of 233.83 feet to a point; thence on Bean Road N 36-24-56 W, a distance of 19.32 feet to the point of beginning. Said Lot 2 containing 3.20 acres, more or less.

Meaning and intending to convey a portion of 1) Book 1026, Page 171, McCabe Family Trust to ERB Realty Associates dated 13 August 1985, 2) Book 1026, Page 174, Bean Road Associates, Inc. to ERB Realty Associates dated 9 August 1985 and 3) Book 1026, Page 177, Bean Road Associates, Inc. to ERB Realty Associates dated 9 August 1985.

Excepting and reserving to the grantor for the benefit of Lot 1, an easement for utility purposes to cross Lot 2 with sewer, water, electric, telephone or other utility lines. Upon location of such lines, any ground excavation shall be restored to substantially the prior condition.

By acceptance of this deed the grantee agrees for itself, its successors and assigns, that if state or municipal regulations require a 25' setback between the improvements on Lot 2 and the 50' strip of Lot 1 abutting Lot 2 to the north, grantee will remove all

RECEIVED
CARROLL COUNTY
REGISTRY
1985 DEC 21 AM 11:28
NUNGESSER & HILL
MEREDITH, NH 03253
ERB Realty Associates

BK 1435 PG 458

-2-

improvements as required for compliance. It is specifically intended and agreed that if required by planning authorities, the northwest corner of the building ("Church" on said plan) will be removed to provide a necessary 25' setback for use of the 50' strip as a public access roadway to Lot 1.

This is a noncontractual transfer under RSA 78-B.

This conveyance is subject to easements and conditions of record including those in deed at Book 1026, Page 171.

Dated this 27th day of August, 1990.

ERB REALTY ASSOCIATES
by all of its Partners:

[Signature]
Roger Dane, Partner

[Signature]
Benjamin Dane, Partner

[Signature]
Eleanor Dane

MUNESSER & HILL, ATTORNEYS, MEREDITH, N.H. 03253

STATE OF South Carolina
COUNTY OF Aiken

The foregoing was acknowledged before me this 27th day of August, 1990 by Roger Dane, Partner of ERB Realty Associates.

[Signature]
Notary Public My Commission Expires November 30, 1998

My commission expires:

STATE OF South Carolina
COUNTY OF Aiken

The foregoing was acknowledged before me this 27th day of August, 1990 by Benjamin Dane, Partner of ERB Realty Associates.

[Signature]
Notary Public My Commission Expires November 30, 1998

My commission expires:

BK 1435 PG 459

-3-

STATE OF *NEW HAMPSHIRE*
COUNTY OF *DALHOUSIE*

The foregoing was acknowledged before me this *5* day of
SEPTEMBER, 1990 by Eleanor Dane, Partner of ERB Realty
Associates.

[Signature]
Notary Public

My commission expires: *APRIL 26, 1994*



ple 25
ERB Deed

NUNGESEER & HILL, ATTORNEYS IN LAW, 100 SOUTH MAIN STREET, NASHUA, NH 03003

BK 1435 PG 400

-2-

Excepting and reserving to the grantor for the benefit of Lot 1, an easement for utility purposes to cross Lot 2 with sewer, water, electric, telephone or other utility lines. Upon location of such lines, any ground excavation shall be restored to substantially the prior condition.

By acceptance of this deed the grantee agrees for itself, its successors and assigns, that if state or municipal regulations require a 25' setback between the improvements on Lot 2 and the 50' strip of Lot 1 abutting Lot 2 to the north, grantee will remove all improvements as required for compliance. It is specifically intended and agreed that if required by planning authorities, the northwest corner of the building ("Church" on said plan) will be removed to provide a necessary 25' setback for use of the 50' strip as a public access roadway to Lot 1.

This is a noncontractual transfer under RSA 78-B.

This conveyance is subject to easements and conditions of record including those in deed at Book 1026, Page 171.

For reference see deed from ERB Realty Associates to Center Harbor Christian Fellowship dated 27 August 1990 and recorded in the Carroll County Registry of Deeds, Book 1435, Page 458.

This conveyance is subject to a mortgage to HomeBank.

Dated this 4th day of January, 1991.

ERB REALTY ASSOCIATES
by all of its Partners:

[Signature]
Roger Dane, Partner

[Signature]
Benjamin Dane, Partner

[Signature]
Eleanor Dane

NUNOESSER & HILL ATTORNEYS MEREDITH NH 03263

STATE OF South Carolina
COUNTY OF Saluda

The foregoing was acknowledged before me this 4th day of January, 1991 by Roger Dane, Partner of ERB Realty Associates.

[Signature]
Notary Public

My commission expires:
2-17-93

541437 PG 082

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS: That, ERB Realty Associates, a New Hampshire Partnership, with a place of business c/o Nungesser & Hill, P. O. Box 665, Meredith, Belknap County, New Hampshire 03253, for consideration paid, grants an undivided Fifty per cent (50%) interest to the Center Harbor Christian Fellowship, a New Hampshire Voluntary Corporation, with a place of business at Bead Road, Moultonboro, N.H. (mailing address of Centre Harbor, NH 03226), with QUITCLAIM COVENANTS:

A certain tract or parcel of land, with any improvements thereon, situate in Moultonboro, Carroll County, New Hampshire, on the easterly side of the Bean Road, shown as Lot #2 on plan "Subdivision of Land of E.R.B. Realty Associates, Tax Map 40, Lot 38, Bean Road, Moultonborough, Carroll County, N.H." by Dolan & DeForest Associates, further bounded and described as follows:

Beginning at a point on the easterly side of Bean Road at the westerly most corner of Lot 2 herein conveyed; thence on Lot 1 N 62-58-18 E, a distance of 252.28 feet to a point; thence turning and running on Lot 1, S 27-01-42 E, a distance of 12.96 feet to a stone wall; thence on stone wall and Lot 1, N 60-53-45 E, a distance of 65.49 feet to a point; thence on stone wall and Lot 1, N 57-00-25 E, a distance of 172.26 feet to a point; thence turning and running on Lot 1 S 08-36-24 E, a distance of 229.44 feet to a point; thence on Lot 1 S 10-40-47 W, a distance of 252.47 feet to a point; thence on Lot 1, N 85-19-37 W, a distance of 300.11 feet to a point at Bean Road; thence on Bean Road N 27-52-59 W, a distance of 233.83 feet to a point; thence on Bean Road N 36-24-56 W, a distance of 19.32 feet to the point of beginning. Said Lot 2 containing 3.20 acres, more or less.

Meaning and intending to convey a portion of 1) Book 1026, Page 171, McCabe Family Trust to ERB Realty Associates dated 13 August 1985, 2) Book 1026, Page 174, Bean Road Associates, Inc. to ERB Realty Associates dated 9 August 1985 and 3) Book 1026, Page 177, Bean Road Associates, Inc. to ERB Realty Associates dated 9 August 1985.

NUNGESSER & HILL, ATTORNEYS MEREDITH, N.H. 03253

RECEIVED
CARROLL COUNTY
REGISTRY

000302

1991 JAN 10 PM 4:26

Evelyn J. Johnson, Deputy

REGISTER OF DEEDS

5K1437FG081

-3-

STATE OF *South Carolina*
COUNTY OF *Saluda*

The foregoing was acknowledged before me this *4th* day of *January*, 1991 by Benjamin Dane, Partner of ERB Realty Associates.

Doris Rauton
Notary Public

My commission expires:

2-17-93

STATE OF *FLORIDA*
COUNTY OF *CHARLOTTE*

The foregoing was acknowledged before me this *7th* day of *JANUARY*, 1991 by Eleanor Dane, Partner of ERB Realty Associates.

Patricia L. Jellie
Notary Public

My commission expires:

NOTARY PUBLIC, STATE OF FLORIDA
MY COMMISSION EXPIRES APRIL 19, 1993

ple 25
ERB Deed
1991

NUNGESSER & HILL, ATTORNEYS, MEREDITH, N.H. 03053

BK 1437 PG 003

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS: That, ERB Realty Associates, a New Hampshire Partnership, with a place of business c/o Nungesser & Hill, P. O. Box 665, Meredith, Belknap County, New Hampshire 03253, for consideration paid, grants to the Center Harbor Christian Fellowship, a New Hampshire Voluntary Corporation, with a place of business at Bead Road, Moultonboro, N.H. (mailing address of Center Harbor, NH 03226), with QUITCLAIM COVENANTS:

A certain tract or parcel of land, with any improvements thereon, situate in Moultonboro, Carroll County, New Hampshire, on the easterly side of the Bean Road, shown as Lot #2 on plan "Subdivision of Land of E.R.B. Realty Associates, Tax Map 40, Lot 38, Bean Road, Moultonborough, Carroll County, N.H." by Dolan & DeForest Associates, further bounded and described as follows:

Beginning at a point on the easterly side of Bean Road at the westerly most corner of Lot 2 herein conveyed; thence on Lot 1 N 62-58-18 E, a distance of 252.28 feet to a point; thence turning and running on Lot 1, S 27-01-42 E, a distance of 12.96 feet to a stone wall; thence on stone wall and Lot 1, N 60-53-45 E, a distance of 65.49 feet to a point; thence on stone wall and Lot 1, N 57-00-25 E, a distance of 172.26 feet to a point; thence turning and running on Lot 1 S 08-36-24 E, a distance of 229.44 feet to a point; thence on Lot 1 S 10-40-47 W, a distance of 252.47 feet to a point; thence on Lot 1, N 85-19-37 W, a distance of 300.11 feet to a point at Bean Road; thence on Bean Road N 27-52-59 W, a distance of 233.83 feet to a point; thence on Bean Road N 36-24-56 W, a distance of 19.32 feet to the point of beginning. Said Lot 2 containing 3.20 acres, more or less.

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NUNGESSER & HILL, ATTORNEYS, MEREDITH, N.H. 03253

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SHERIFF'S OFFICE

011031

1985 AUG 28 PM 12:24

Lucan A. Brooks
REGISTER OF DEEDS

BR 1497 pg. 805

-2-

Excepting and reserving to the grantor for the benefit of Lot 1, an easement for utility purposes to cross Lot 2 with sewer, water, electric, telephone or other utility lines. Upon location of such lines, any ground excavation shall be restored to substantially the prior condition.

By acceptance of this deed the grantee agrees for itself, its successors and assigns, that if state or municipal regulations require a 25' setback between the improvements on Lot 2 and the 50' strip of Lot 1 abutting Lot 2 to the north, grantee will remove all improvements as required for compliance. It is specifically intended and agreed that if required by planning authorities, the northwest corner of the building ("Church" on said plan) will be removed to provide a necessary 25' setback for use of the 50' strip as a public access roadway to Lot 1.

This conveyance is subject to easements and conditions of record including those in deed at Book 1026, Page 171.

For reference see deed from ERB Realty Associates to Center Harbor Christian Fellowship dated 27 August 1990 and recorded in the Carroll County Registry of Deeds, Book 1435, Page 458.

This deed conveys all the remaining interest of grantor to grantee. See prior deed of a 50% undivided interest dated 27 August 1990, and recorded Book 1435, Page 458.

This conveyance is subject to a mortgage to HomeBank at Book 1435, Page 462.

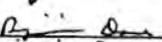
THIS IS A NON-CONTRACTUAL TRANSFER UNDER RSA 78-B.

Dated this 9th day of June, 1992.

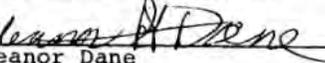
ERB REALTY ASSOCIATES
by all of its partners:



Roger Dane, Partner



Benjamin Dane, Partner



Eleanor Dane

NUNGESSE & MILL, ATTORNEYS, MERIDEN, N.H. 03853

BK 1435 PG 006

-3-

STATE OF *South Carolina*
COUNTY OF *Aiken*

The foregoing was acknowledged before me this *9th* day of *June*, 19*92* by Roger Dane, Partner of ERB Realty Associates.

Doris Rawson
Notary Public

My commission expires:
2-93

STATE OF *MASSACHUSETTS*
COUNTY OF *Middlesex*

The foregoing was acknowledged before me this *8* day of *July*, 19*92* by Benjamin Dane, Partner of ERB Realty Associates.

Audrey S. Hale
Notary Public

My commission expires: *March 13, 1978.*

STATE OF *New Hampshire*
COUNTY OF *Belknap*

The foregoing was acknowledged before me this *3rd* day of *August*, 19*92* by Eleanor Dane, Partner of ERB Realty Associates.

Janet E. Welsh
Notary Public

My commission expires:

JANET E. WELSH, Notary Public
My Commission Expires May 1, 1998

ple 25
ERB Deed

MUNGESESSER & HILL, ATTORNEYS AT LAW, N.H. 03283

BK1497 PG 807

900
14/2

WARRANTY DEED

ERB Realty Associates, a New Hampshire Partnership, with a place of business c/o Nungesser & Hill, Attorneys, PO Box 665, Meredith, New Hampshire 03253, for consideration paid, grants to the Center Harbor Christian Church, a New Hampshire Voluntary Corporation, with a place of business at Bean Road, Moultonboro, New Hampshire (mailing address of Center Harbor, NH 03226), with WARRANTY COVENANTS:

A certain tract or parcel of land, with any improvements thereon, situate in Moultonboro, Carroll County, New Hampshire, on the easterly side of the Bean Road, shown as "Lot 1 Remaining Land 18.98 acres" on plan entitled "Subdivision of Land of E.R.B. Realty Associates, Tax Map 40, Lot 38, Bean Road, Moultonborough, Carroll County, N.H." by Dolan & DeForest Associates, recorded in the Carroll County Registry of Deeds, Plan Book 31, Page 29.

Meaning and intending to convey a portion of 1) Book 1026, Page 171, McCabe Family Trust to ERB Realty Associates dated 13 August 1985, 2) Book 1026, Page 174, Bean Road Associates, Inc. to ERB Realty Associates dated 9 August 1985, and 3) Book 1026, Page 177, Bean Road Associates, Inc. to ERB Realty Associates dated 9 August 1985.

This conveyance is made together with an easement for utility purposes to cross Lot 2 with sewer, water, electric, telephone or other utility lines. Upon location of such lines, any ground excavation shall be restored to substantially the prior condition.

This conveyance is made together with the benefit of the setback restrictions reserved by grantor in the deeds to Lot 2.

This conveyance is subject to all easements and conditions of record including those in deed at Book 1026, Page 171.

For reference see deed of Lot 2 from ERB Realty Associates to Center Harbor Christian Fellowship dated 27 August 1990 and recorded in the Carroll County Registry of Deeds, Book 1435, Page 458, and deed from ERB Realty

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CARROLL COUNTY REGISTRY
2000 JAN 18 PM 2:28
Fuller
REGISTER OF DEEDS

BK 1846 PG 338

000700

| | | | |
|--------------------------------------|-----|--------------------------|--------------|
| STATE OF NEW HAMPSHIRE | | | |
| DEPARTMENT OF REVENUE ADMINISTRATION | | REAL ESTATE TRANSFER TAX | |
| ***** THOUSAND | 9 | HUNDRED AND 00 DOLLARS | |
| MO | DAY | YR. | AMOUNT |
| 01 | 18 | 2000 | \$ 412825.00 |
| VOID IF ALTERED | | | |

Page 2.

Associates to Center Harbor Christian Fellowship, recorded said Registry, Book 1497, Page 805.

Executed this 11 day of January.

ERB Realty Associates
by all of its partners:

[Signature]
Roger Dane, Partner

[Signature]
Benjamin Dane, Partner

BK 1846 PG. 339

STATE OF South Carolina, COUNTY OF Aiken

The foregoing was acknowledged before me this 11th day of Jan., 1999 by Roger Dane, Partner of ERB Realty Associates.

Janet J. Rodgers
Notary Public

My commission expires: April 14, 2003



STATE OF New Hampshire, COUNTY OF Belmont

~~1999~~ ²⁰⁰⁰ The foregoing was acknowledged before me this 14 day of January, 2000 by Benjamin Dane, Partner of ERB Realty Associates.

[Signature]
Notary Public

My commission expires: MARCH 3, 2004
plkCdirformsChurch



000577

RECEIVED
CARROLL COUNTY REGISTRY

2006 JAN 12 PM 12:41

Gene M. Hice, deputy
REGISTER OF DEEDS

**BOUNDARY LINE AGREEMENT
CENTER HARBOR CHRISTIAN CHURCH**

KNOW ALL MEN BY THESE PRESENTS that the **CENTER HARBOR CHRISTIAN CHURCH** is the owner of two (2) parcels of land located on the northerly side of Bean Road in the Town of Moultonborough, Carroll County, New Hampshire.

The first parcel of land, known as the "Church Parcel", consists of 3.20 acres, more or less, and abuts Bean Road. The title to the property is from ERB Realty Associates to Center Harbor Christian Fellowship by Quitclaim Deed at Book 1435, Page 458 recorded December 21, 1990, Quitclaim Deeds at Book 1437, Page 001 recorded January 10, 1991 and Quitclaim Deed at Book 1497, Page 805 recorded August 28, 1992. The Center Harbor Christian Fellowship has formally changed its name with the Secretary of State in New Hampshire. The church is now called the Center Harbor Christian Church.

The second parcel consists of 18.98 acres, more or less, and is presently undeveloped and is located to the rear of the "Church Parcel." The title to the parcel is from ERB Realty Associates to the Center Harbor Christian Church by deed dated January 11, 2000 and is recorded in the Carroll County Registry of Deeds at Book 1846, Pages 388.

The Center Harbor Christian Church is seeking to subdivide the second parcel of land into fourteen (14) separate lots. In order to effectively accomplish this, there is a need to transfer land between the two parcels owned by the church and thus reconfigure the tax map the respective parcels are shown on.

BK 2497PG0077

The "Church Parcel" as shown on Tax Map 40 Lot 38, consists of 3.20 acres, more or less, prior to the boundary line adjustment. After transfer as set forth below and shown on a plan entitled "Boundary Line Adjustment Plan Land of Center Harbor Christian Church (Tax Map 40 Lots 38 & 38F) Bean Road, Moultonborough Carroll County, N.H. 2 March 2005" the lot will consist of 4.95 acres, more or less.

The second parcel of undeveloped land as shown on Tax Map 40 Lot 38F consists of 18.98 acres, more or less, prior to the Boundary Line Adjustment and after the transfer will consist of 17.24 acres, more or less.

There are three (3) separate conveyances of property between the adjacent parcels requiring Boundary Line Adjustments between the parcels and the Tax Map 40 Lots 38 and 38F.

The Center Harbor Christian Church does hereby make the following conveyances between its respective properties resulting in the following Boundary Line Adjustments as shown and described by metes and bounds on the aforementioned "Boundary Line Adjustment Plan Land of Center Harbor Christian Church (Tax Map 40 Lots 38 & 38F)".

- 1) Parcel A as shown and as more particularly described by metes and bounds on the afore referenced plan, transfers 10,697 square feet from Tax Map 40 Lot 38F to Tax Map 40 Lot 38, the so-called "Church Parcel." The conveyance of the land shall be merged in the so-called "Church Parcel" and cannot be conveyed as a separate lot.
- 2) Parcel B as shown and as more particularly described by metes and bounds on the aforementioned "Boundary Line Adjustment Plan Land of Center Harbor Christian Church (Tax Map 40 Lots 38 & 38F) conveys 293 square feet of land from the so-called "Church Parcel" Tax Map 40 Parcel 38, to the undeveloped parcel at Tax Map 40 Lot 38F and cannot be conveyed as a separate lot of land.

BK 24 97 PG 0078

- 3) Parcel C conveys to the "Church Parcel" as shown on Tax Map 40 Lot 38, 65,501 square feet of land, more or less, as more particularly described by metes and bounds on the aforementioned "Boundary Line Adjustment Plan Land of Center Harbor Christian Church (Tax Map 40 Lots 38 & 38F)." This parcel cannot be conveyed as a separate lot and like the two previous boundary adjustments, shall become merged in the larger lot.

This Boundary Line Adjustment shall be recorded simultaneously with the plan entitled "Boundary Line Adjustment Plan Land of Center Harbor Christian Church (Tax Map 40 Lots 38 & 38F)" dated March 2, 2005 and approved by the Town of Moultonborough Planning Board on March 23, 2005. Said Plan being recorded in the Carroll County Registry of Deed at Plan Book 0213-036.

These Boundary Line Adjustments are contingent upon the Town of Moultonborough approving a fourteen (14) lot subdivision in the parcel owned by the Center Harbor Christian Church at Map 40 Lot 38F as adjusted to contain 17.24 acres, more or less. A failure to record in the Carroll County Registry of Deeds an approved subdivision plan incorporating the Boundary Line Adjustments shall make this Boundary Line Agreement null and void all metes and bounds and the respective parcels shall retain their original size and shape and square footage.

EXECUTED THIS 12 DAY OF JANUARY 2006.

CENTER HARBOR CHRISTIAN CHURCH

Robert P Farah
ROBERT FARAH, ELDER

Stephen S Woodman
STEPHEN WOODMAN, ELDER
STEPHEN WOODMAN, ELDER

Scott Farah
SCOTT FARAH, ELDER

BK 2497PG0079

STATE OF NEW HAMPSHIRE
COUNTY OF CARROLL

On this 12 day of January 2006 before me, the undersigned officer, personally appeared, **ROBERT FARAH, STEPHEN WOODMAN and SCOTT FARAH**, known to me to be the persons whose names are subscribed to the within instrument, and acknowledged that the foregoing is true to the best of their knowledge and belief.

IN WITNESS WHEREOF, I hereunto set my hand and seal.

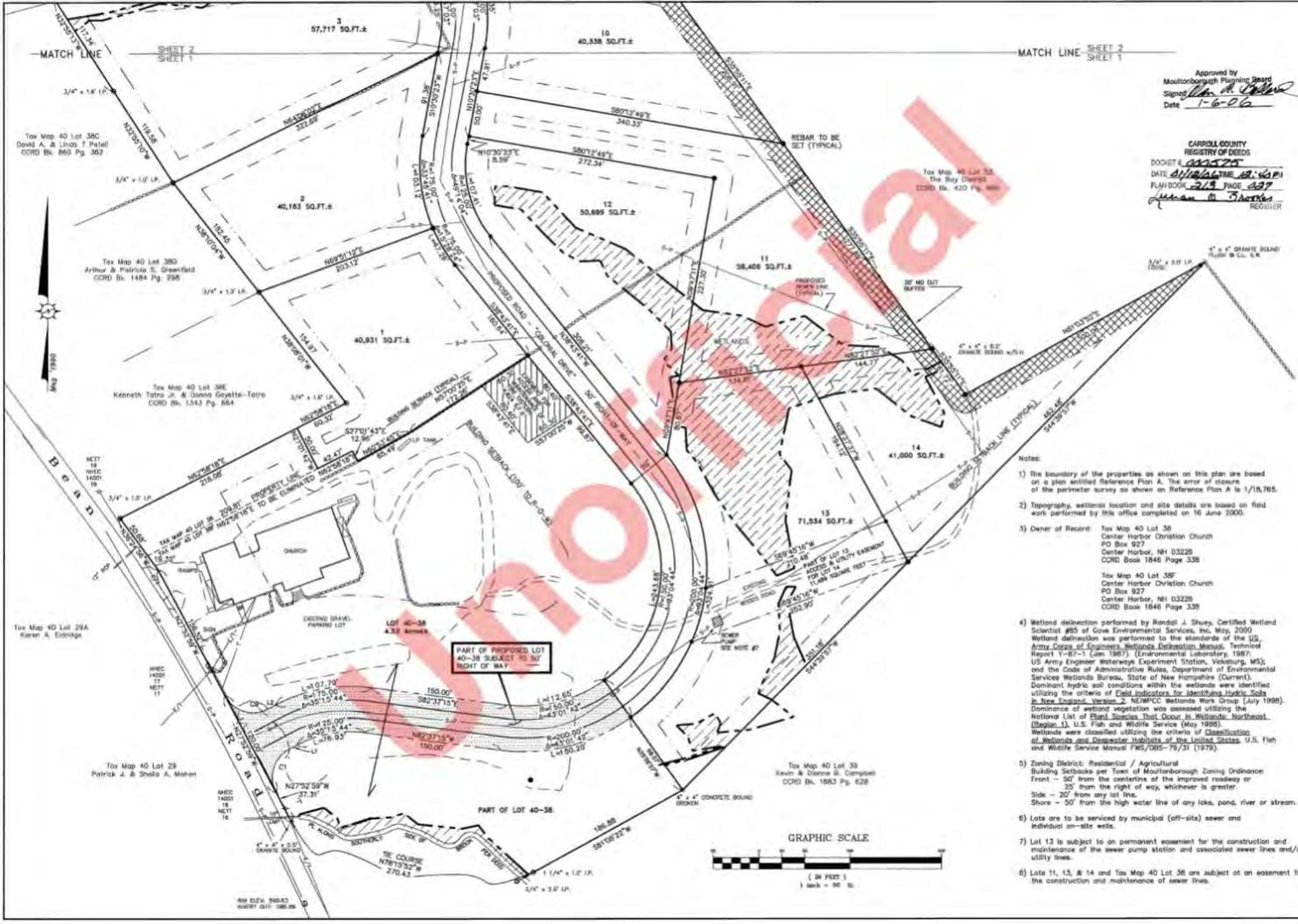
RHONDA JEAN VAPPI, Notary Public
My Commission Expires December 3, 2008
My commission expires: _____

Rhonda Jean Vappi
Notary Public



Unofficial

BK 2497PG0080



Approved by
Moultonborough Planning Board
Signed *[Signature]*
Date 1-6-06

CARROLL COUNTY
REGISTRY OF DEEDS
DOCKET # 0005725
DATE 2/16/06 TIME 09:40 AM
PLAN BOOK 373 PAGE 037
[Signature] REGISTRAR

- Notes:
- 1) The boundary of the properties as shown on this plan are based on a plan entitled Reference Plan A. The error of closure of the perimeter survey as shown in Reference Plan A is 1/16,765.
 - 2) Topography, wetlands location and site details are based on field work performed by this office completed on 16 June 2005.
 - 3) Owner of Record: Tax Map 40 Lot 36
Center Harbor Christian Church
PO Box 927
Center Harbor, NH 03226
CORD Book 1848 Page 338
Tax Map 40 Lot 39F
Center Harbor Christian Church
PO Box 927
Center Harbor, NH 03226
CORD Book 1848 Page 338
 - 4) Wetland delineation performed by Randall J. Shury, Certified Wetland Scientist #85 of Cow Environmental Services, Inc. May, 2000. Wetland delineation was performed to the standards of the US Army Corps of Engineers Wetlands Delineation Manual, Technical Report T-92-17 (Jan. 1987), Environmental Laboratory, 1987; US Army Engineer Waterways Experiment Station, Vicksburg, MS; and the Code of Administrative Rules, Department of Environmental Services Wetlands Bureau, State of New Hampshire (Current), Damsite, Hydric soil comparisons within the wetlands were identified utilizing the criteria of Field Indicators for Identifying Hydric Soils in New England, Version 2, NEWPCC Wetlands Work Group (July 1998). Dominance of wetland vegetation was assessed utilizing the Wetland List of Plant Species That Occur in Wetlands: Northeast (Stephen D. U.S. Fish and Wildlife Service (May 1998)). Wetlands were classified utilizing the criteria of Classification of Wetlands and Deepwater Habitats of the United States U.S. Fish and Wildlife Service Manual FWS/OBS-75/31 (1979).
 - 5) Zoning District: Residential / Agricultural
Building Setbacks per Town of Moultonborough Zoning Ordinance:
Front - 30' from the centerline of the improved roadway or 25' from the right of way, whichever is greater.
Side - 20' from any lot line.
Shore - 50' from the high water line of any lake, pond, river or stream.
 - 6) Lots are to be serviced by municipal (off-site) sewer and individual on-site septic.
 - 7) Lot 13 is subject to an permanent easement for the construction and maintenance of the sewer pump station and associated sewer lines and/or utility lines.
 - 8) Lots 11, 13, & 14 and Tax Map 40 Lot 36 are subject to an easement for the construction and maintenance of sewer lines.

1"=60' REVISIONS USE ONLY 1

DAVID M. DOLAN ASSOCIATES, P.C.
LAND SURVEYING
CONSULTING, PERMITTING

COPYRIGHT 2005 - DAVID M. DOLAN ASSOCIATES, P.C.

Subdivision Plan - Lands of
Center Harbor Christian Church
(Tax Map 40 Lots 36 & 39F)
Been Road
Moultonborough
Carroll County, NH
222 November 2004

| NO. | DATE | BY | REVISIONS |
|-----|--------|-----|---------------------------------------------------|
| 1 | 1/2/06 | JAD | ADD SEWER PUMP STATION AND ASSOCIATED SEWER LINES |
| 2 | 1/2/06 | JAD | ADD BUILDING SETBACKS |
| 3 | 1/2/06 | JAD | ADD SEWER PUMP STATION AND ASSOCIATED SEWER LINES |
| 4 | 1/2/06 | JAD | ADD BUILDING SETBACKS |

000905

RECEIVED
CARROLL COUNTY REGISTRY
2006 JAN 19 AM 11:01
William A. Brown
REGISTER OF DEEDS

COLONIAL OAKS
BEAN ROAD AND OAKWOOD LANE
MOULTONBORO, NEW HAMPSHIRE

Declaration of Covenants, Restrictions and Easements

This Declaration made this 18 day of January, 2006, by Center Harbor Christian Church, 80 Bean Road, Center Harbor, County of Belknap, and State of New Hampshire, 03226, (hereinafter referred to as "Developer").

WITNESSETH:

WHEREAS the Developer is the owner of real property located on Bean Road, in Moultonboro, New Hampshire consisting of 14 lots in a subdivision known as Colonial Oaks and shown on plan entitled "Subdivision Plan

WHEREAS, the Developer desires to develop these lots so that all buildings and other structures thereon shall be harmoniously designed, landscaped and located, and to that end and also for the purpose of maintaining said harmony for the benefit of such property and its owners;

NOW THEREFORE, the Developer declares the real property described below is and shall be held, transferred, sold, conveyed and occupied, subject to the covenants, restrictions, easements, (hereinafter called, collectively, "Covenants, Restrictions and Easements"), hereinafter set forth:

ARTICLE I
Description of the Property

The real property which is and shall be held, transferred, sold and conveyed subject to this Declaration are all lots on plan entitled "Subdivision Plan

ARTICLE II
Use Restrictions

BK 2498 PG 0533

EX
301

2.1 The following restrictions are imposed upon each Lot for the benefit of every other Lot included in the Property covered by this Declaration and may be enforced by other owners of said lots.

- (a) No commercial or industrial use shall be made of the Lots at any time.
- (b) Tanks for the storage of fuel maintained on any Lot shall be buried or enclosed.
- (c) No fowl or animals shall be kept on any Lot, except a reasonable and usual number of household pets.
- (d) No garbage, rubbish, junk, cuttings, or other refuse shall be deposited or permitted to remain on any Lot unless placed in a closed container or mulch pile suitably located.
- (e) No building material of any kind or character shall be placed upon any Lot except in connection with construction.
- (f) Clothes lines and drying racks shall be screened or so located as not to be visible from any point on adjacent Lots or from Oakwood Road.
- (g) No sign of any kind shall be displayed on any Lot or structure or from the windows of any structure, except one painted sign no more than two hundred (200) square inches in size setting forth only the name, if any, of the owner residing thereon and usual real estate sales signs.
- (h) No unregistered or inoperable motor vehicle shall be moved onto or kept on any Lot.
- (i) Specifically Prohibited vehicles: No business or commercial vehicles larger than a one ton pickup truck or van shall be parked on any Lot.
- (j) No right of way for any kind of travel shall be granted or constructed across any Lot so as to provide access to another Lot or any other property except as described on the plan.
- (k) No temporary house, trailer, tent, garage or other outbuilding shall be placed or erected on any Lot. Recreational vehicles or boats shall be stored where such are not visible from any point on another Lot or street. No more than one boat or recreational vehicle shall be stored at one time.
- (l) Every lot owner shall keep open and unobstructed and in good repair that part of any drainage ditch or swale that is located on his Lot.
- (m) No lot shall be used except for residential purposes either seasonal or year-

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round. No building other than one dwelling house designed for single-family occupancy; with a building not exceeding four hundred (400) square feet, for utility and/or storage purposes; and with a private attached garage for not more than three cars, shall be erected or placed on any Lot. One in-law apartment is allowed provided same does not exceed 900 square feet in size.

- (n) **Subdivision:** No area of land containing less than one lot as shown on said plan shall be conveyed at any time. Two or more adjacent contiguous lots may be used by one owner for the erection and construction of a single-family dwelling, utility building and garage without regard to the common boundaries of the lots as shown on said plan, but the area consisting of such combined lots shall not thereafter be subdivided.
- (o) **Size of Dwelling:** No building shall exceed three (3) stories in height. The total floor area of the dwelling on any lot, exclusive of one-story open porches and garages, shall not be less than One Thousand Eight Hundred (1800) square feet for a single family dwelling.
- (p) **Construction:** All chimneys shall be equipped with a suitable spark arrester. All major site work and major landscaping shall be completed and all buildings or structures shall be completed on the exterior and ready for occupancy (or other principal use for which designated) within one (1) year from commencement of the excavation or erection of any portion of said building or structures. All structures on the lot must have solid wall foundations, or else the entire foundation area of each structure must be enclosed. All exposed exterior siding, roofing, and foundation materials must be of a type which do not have an adverse effect on other property values in Colonial Oaks. The exterior of all buildings must be maintained in good repair.
- (q) **Specifically Prohibited Buildings:** No temporary or partial structures shall be built or placed upon any Lot, other than necessary for and used during the course of construction of permanent buildings. Such temporary or partial structures shall not be subject to these restrictions. They shall be removed immediately upon completion of any building operation and shall not be permitted to remain on the lot more than one (1) year under any circumstances. No mobile home, basement, shack, garage or any structure of a temporary character shall at any time be used as a residence. No "single-wide" or "double-wide" mobile homes shall be permitted on any lot, temporarily or permanently, however, modular homes affixed to the ground on foundations are permitted.
- (r) **Appearance:** All lots, including unoccupied lots shall be maintained by resident and absentee owners in an attractive condition at all times with

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allowances being granted during the one (1) year construction period.

- X (s) **Sewage:** The disposal of all sewage on each lot shall be accomplished by means of a septic tank connected to Bay District municipal sewer system, properly proportioned for their per capita demand, and the determination of their location and capacity shall be made in accordance with State Laws and local ordinances and regulations. No garbage, other waste material or debris shall be thrown onto or allowed to remain on the land.
- (t) **Specifically Prohibited Conditions:** No activity or condition, not specifically provided for in this Declaration shall be carried on or maintained upon any lot nor shall anything be done thereon which shall adversely affect the value of other properties in Colonial Oaks. If any buildings, structures, or trees are damaged by fire, storm or other casualty, the same shall be removed or repaired within six months from such damage.
- (u) **Variations:** Developer, or any Successor Developer, shall have the right to omit or vary any of the covenants, restrictions and easements contained in this instrument as to any particular lot, in connection with the original sale of the lot, by instrument executed and recorded within sixty (60) months thereafter. Nothing herein shall permit any variance to allow use of any land for other than single-family residential purposes.
- (v) **Style of Homes and Approval of Plans:** The style of homes and plans for homes shall be approved by Developer, or any Successor Developer, and shall be of a traditional design (i.e., colonial, ranch, cape style, saltbox, gambrel) with solar adaptation allowed. Other styles and plans may be allowed in the discretion of the Developer if they are in keeping with the harmonious development of the property and do not adversely affect any other lots.
- (w) **Setback Requirements:** No building shall be constructed closer than:
 - (1) Fifty (50) feet from the front property line of any lot;
 - (2) Twenty (20) feet from the side and rear property lines of any lot.
- (x) **Fences:** Any fence is limited to five feet (60") inches in height, and must be painted, stained or covered with colored vinyl. Said fences shall be maintained in presentable condition.
- (y) **Cutting of Trees:** To preserve the natural appearance and forested condition within the development no trees should be cut unless they interfere with construction of house, garage, driveway or lawn.

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ARTICLE III

Reserved Easements and Rights

3.1 The developer reserves in all Lots, and all Lots shall be conveyed subject to easements for all or any of the following uses and purposes:

- (a) Service boxes, wires and conduits, above or below ground, for the transmission of electricity, telephone messages, and other purposes and for necessary attachments in connection therewith;
- (b) Ditches, pipes and culverts for surface water drainage and sewer, water and gas mains and pipes;
- (c) The construction and maintenance of slopes and cuts in conjunction with roadways and pathways upon the Property;
- (d) Any other method of conducting and performing any public or quasi-public utility or service function over or beneath the surface of the ground;
- (e) Cables, conduits, and wires above or below ground for community radio and television antenna services; and
- (f) Installing, replacing, repairing, and servicing any of the foregoing.

3.2 All the rights, easements, privileges and powers reserved to and retained by the Developer under the terms of this Declaration shall be assignable by it to an Association, or to any person or entity who has acquired title to all or part of the real property owned by the Developer in Article I for the purpose of completing the construction of the planned residential neighborhood intended by the Developer, or to any person or entity who has undertaken to furnish services such as water, sewer, power and telephone service to the Owners, but in such latter case only those rights and easements essential to the providing of such services shall be assignable.

ARTICLE IV
View Easement

4.1 Certain lots within Colonial Oaks will be conveyed subject to, and/or with the benefit of, view easements over one or more other lots within the subdivision.

4.2 Each view easement will be a V shaped area of space reckoned from a fixed point and radiating outwards in three (3) planes: a pair of planes starting at the fixed point and diverging toward the view, and another lower plane defining the lower limit of the easement. The easements have no upper limits.

4.3 Holders of the view easements have the right, (but not the duty or obligation), to enforce such easement rights if the owner of the Lot subject to the view

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ements does not keep structures and trees or other vegetation from interfering with the view within the easement area.

ARTICLE V
Water

5.1 Water supply to each Lot shall be by means of individual artesian well. Each owner is responsible for construction, repair and maintenance of his own well.

ARTICLE VI
Amendments

6.1 The covenants and restrictions set forth herein or in any declaration supplementary hereto may be amended at any time by a vote of a majority of the Lot owners present at a meeting called for that purpose and, so long as Developer owns one or more Lots in Colonial Oaks, ratified by the Developer, provided:

- (a) No such amendment shall be effective unless written notice of the proposal thereof shall be sent to every Lot owner at least ninety (90) days in advance of the meeting at which the same is considered; and
- (b) An instrument setting forth such amendment and signed by a majority of the Lot owners in the same manner required for the conveyance of real property is recorded in the Carroll County Registry of Deeds.

6.2 After the expiration of said ten (10) years amendments to this Declaration or any declaration supplementary hereto may be made in the same manner provided in paragraph 6.1 hereof, except that the ratification of the Developer shall not be required.

ARTICLE VII
Miscellaneous

7.1 The Covenants and Restrictions of this Declaration shall run with and bind the land, and shall inure to the benefit of and be enforceable by an Association of the Lot owners, or the Owners of any land subject to this Declaration or any Declaration supplemental hereto, their respective legal representatives, heirs, successors and assigns, for a term of ten (10) years from the date this Declaration is recorded, after which time said covenants and restrictions shall be automatically extended for successive periods of ten (10) years unless an instrument signed by the then Owners of a majority of the Lots has been duly recorded agreeing to change said Covenants and Restrictions in whole or in part; provided, however, that no such

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agreement to change shall be effective unless made and recorded one (1) year in advance of the effective date of such change, unless written notice of the proposed agreement is sent to every Owner at least ninety (90) days in advance of any action taken.

7.2 Any notice required to be sent to any lot owner under the provisions of this Declaration shall be deemed to have been properly sent when mailed in a sealed envelope postpaid, to the last known address of the person who appears as a lot owner at the time of such mailing.

ARTICLE VIII
Enforcement

8.1 General Enforcement Provisions: The Declarations, Covenants, and restrictions set forth in this Declaration shall be enforceable by the Developer, its successors or assigns as Developer, or by the owner of any lot, by proceeding by law or in equity, either, to restrain violation, or to recover damages, or both. The Town of Moultonborough retains the authority to enforce conditions relating to approval of the subdivision, and to enforce the terms of the Subdivision Regulations, Zoning Ordinance, and other local codes or regulations, but the Town of Moultonborough shall not have specific authority to enforce these restrictions, except where the restrictions are identical to the terms of local codes, regulations or ordinances. Approval of these restrictions by the Towns' Planning Board does not constitute a waiver of the foregoing authority by the Town.

8.2 Minor Violations: The Developer, its successors or assigns as Developer, so long as owning one or more lots in Colonial Oaks as now laid out or as hereafter modified, shall have the right to waive minor violations of the covenants and restrictions in this Declaration. Thereafter, during the balance of the period said covenants and restrictions are in effect, and of renewal periods as hereinbefore provided, the right to grant such waivers of minor violations shall be vested in a majority of owners of all the lots in Colonial Oaks as now laid out or as hereafter modified, regardless of enlargement or decrease in the size of any one lot, the ownership of any lot being regarded as one, irrespective of the number of co-owners thereof. Any waiver or waivers of, or any failure to enforce any of the Covenants and Restrictions, shall not be deemed to be a waiver of any future violation committed by the same or any other owner of any lot, nor shall it in any way be deemed to preclude the future enforcement of any of these Restrictions and Covenants.

8.3 Invalidation: Invalidation of any of the Covenants and Restrictions contained in this Declaration, by judgment or Court Order, shall in no way affect any of the other Covenants and Restrictions, which shall remain in full force and effect.

8.4 State and Local Laws, etc.: All construction and installations in any lot shall be subject to the laws, ordinances, rules and regulations of the State, and of the Town of Moultonboro, and any governmental unit or agency having jurisdiction, at the time of any construction of installations, including building setbacks from boundary lines

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and the obtaining of necessary permits. The provisions of this Declaration shall govern, however, where the restrictions and requirements herein are more limiting and restrictive.

8.5 Mortgages: Future Mortgages, whether from this Developer or from others now or hereafter owning land in Colonial Oaks, shall be subject to the provisions of this Declaration and any amendments hereto which have been adopted and recorded prior to the granting of the particular future mortgage.

ARTICLE IX
Title Headings

The title headings as to the contents of particular Articles are inserted only as a matter of convenience and for reference, and in no way are, or are they intended to be, a part of this Declaration nor in any way define, limit or describe the scope or intent of the particular section or clause to which they refer.

IN WITNESS WHEREOF, the Developer has hereunto set its hand the day and year first above written by _____, its _____, duly authorized.

Center Harbor Christian Church

BY: *Robert Farah* Robert Farah
ITS: *president* President

BK 24 98 P60540

STATE OF NEW HAMPSHIRE
BELKNAP, SS.

On this 18th day of January, 2006, before me the undersigned officer, personally appeared Robert Farah of Colonial Oaks, whose name is subscribed to the within instrument, and acknowledged that he executed the same for the purposes therein contained on behalf of the limited liability company.

Rhonda Jean Vappi
Notary Public/Justice of the Peace



MY COMMISSION EXPIRES:

RHONDA JEAN VAPPI, Notary Public
My Commission Expires December 3, 2008

0018381

RECEIVED
CARROLL COUNTY REGISTRY

2006 NOV 20 PM 04:50

Annelle C. Berlind, Deputy
REGISTER OF DEEDS

**FIRST AMENDMENT OF DECLARATION OF
COVENANTS, RESTRICTIONS AND EASEMENTS
FOR COLONIAL OAKS
BEAN ROAD AND OAKWOOD LANE
MOULTONBORO, NEW HAMPSHIRE**

This First Amendment is made and executed this 17th day of November, 2006 by Center Harbor Christian Church, a non-profit corporation organized under the laws of the State of New Hampshire with its principal place of business located at 80 Bean Road, Center Harbor, County of Belknap, and State of New Hampshire, 03226 (hereinafter referred to as "Declarant").

WHEREAS the Declarant adopted the Declaration of Covenants, Restrictions and Easements for Colonial Oaks, Bean Road and Oakwood Lane, Moultonboro, New Hampshire dated January 18, 2006 and recorded in the Carroll County Registry of Deeds at Book 2498, Page 0533 and hereby amends and corrects the same by the following additions and clarifications:

1. Paragraph 2 of said Declaration is amended to reflect that the Developer is the owner of real property located on Bean Road, in Moultonboro, New Hampshire consisting of 14 lots in a subdivision known as Colonial Oaks and shown on plan entitled "Subdivision Plan – Lands of Center Harbor Christian Church, (Tax Map 40, Lots 38 & 38F) Bean Road, Moultonborough, Carroll County, NH" dated 22 November 2004 and recorded in Carroll County Registry of Deeds at Plan Book 213, Pages 027 and 028.
2. The date said Declaration was executed by Robert Farah, in his capacity as president of Center Harbor Christian Church, a non-profit corporation organized under the laws of the State of New Hampshire, was January 18, 2006.
3. On January 18, 2006 Robert Farah personally appeared before Rhonda Jean Vappi, a Notary Public, in his capacity as president of Center Harbor Christian Church, a non-

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profit corporation organized under the laws of the State of New Hampshire, and acknowledged that he executed same for the purposes therein contained on behalf of Center Harbor Christian Church.

- 4. As of the date of this First Amendment of Declaration Center Harbor Christian Church is the sole and exclusive owner of all 14 lots in the subdivision described in the plan entitled "Subdivision Plan – Lands of Center Harbor Christian Church, (Tax Map 40, Lots 38 & 38F) Bean Road, Moultonborough, Carroll County, NH" dated 22 November 2004 and recorded in Carroll County Registry of Deeds at Plan Book 213, Pages 027 and 028 and does hereby waive all notice and waiting period requirements provided in Article VI, paragraph 6.1(a) and does hereby unanimously approve this First Amendment.

IN WITNESS WHEREOF, the Declarant, by its President, duly authorized, has executed this First Amendment on this 17th day of November, 2006. *RFE*

Center Harbor Christian Church

[Signature]

Witness

[Signature]

BY: Robert Farah
President

STATE OF NEW HAMPSHIRE
COUNTY OF Belknap

On this 17th day of November, 2006, personally appeared before me, **ROBERT FARAH, PRESIDENT**, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained, and that the same is his voluntary act and deed.

In Witness Whereof, I hereunto set my hand and official seal

[Signature]

Notary Public/Justice of the Peace
My commission expires: 12/3/08
RHONDA JEAN VAPPL, Notary Public
My Commission Expires December 3, 2008



BK 2584 PG 0408

CENTER HARBOR CHRISTIAN CHURCH
CORPORATE RESOLUTION

Pursuant to a special meeting of the Officers of the Corporation, Robert P. Farah, President is authorized to sell property located at Lot 13, Colonial Drive, Moultonborough, New Hampshire to conclude the transaction on certain terms. It was resolved that the officers authorizes the president Robert P. Farah to sell the corporation's real property located at Lot 13, Colonial Drive, Moultonborough, New Hampshire to Donald E. Dodge of Gilford NH for the sum of \$320,000.00. The officers authorize Robert P. Farah to do all things necessary to convene the sale of the property and to execute all documents on behalf of the corporation.

Dated at Meredith, New Hampshire this 18th day of December, 2006.

12/18/06
Date

Robert P. Farah
ROBERT P. FARAH, PRESIDENT

RECEIVED
CARROLL COUNTY REGISTRY
2006 DEC 19 AM 09:39
Arlene H. Chase
REGISTER OF DEEDS

0019861

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CHCC Grantee Index 2006-2022

| | | | | | | | | | |
|------------|---------------|----------------------|---------|------|------|-------------------|------------------------|----------------|-------------------------|
| 01/12/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 2497 | 0077 | AGREEMNT | CENTER HARBOR | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 2532 | 0997 | PART REL | REIKO CHENG REVOC TRST | MOULTONBOROUGH | MTG 2327-109 |
| 05/24/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 2532 | 0996 | DISCHARGE | RAYMOND R REED & | CARROLL | MTG 2297-229 / ASMT ... |
| 11/21/2007 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 2676 | 0352 | DISCHARGE | RAYMOND R REED & | MOULTONBOROUGH | MTG 2297-215 |
| 11/19/2013 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3118 | 0108 | AGREEMNT | RICHARD N KRAUTH & | MOULTONBOROUGH | SETTLEMENT |
| 11/14/2014 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3173 | 0349 | RELEASE | RICHARD N KRAUTH | CARROLL | WRIT 3118-114 & 115 |
| 11/14/2014 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3173 | 0350 | PART REL | C L & M INC | MOULTONBOROUGH | WRIT 2851-681 |
| 11/14/2014 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3173 | 0348 | DISCHARGE | ROBERT P FARAH | CARROLL | MTG 3016-417 |
| 03/03/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3189 | 0273 | PART REL | C L & M INC & | MOULTONBOROUGH | 2851-681 |
| 03/03/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3189 | 0267 | ORDER | CTR HARBOR CHRISTIAN | MOULTONBOROUGH | BANKRUPTCY |
| 08/19/2011 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 2945 | 0080 | RELEASE | RONNIE P STONE & | CARROLL | WRIT #7057 |
| 03/16/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3190 | 0927 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 03/16/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3190 | 0927 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 03/16/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3190 | 0927 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 03/16/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3190 | 0927 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 05/14/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3199 | 0928 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 05/14/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3199 | 0928 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
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| 05/14/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3199 | 0928 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 05/14/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTEE | 3199 | 0928 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 01/18/2000 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 1846 | 0338 | WARRANTY | ERB REALTY ASSOCIATES | MOULTONBOROUGH | SEE RECORD |
| 04/13/2004 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2281 | 0569 | RELEASE | CHARLES A VOSE JR | CARROLL | RENTS 1413-468 |
| 01/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2497 | 0077 | AGREEMNT | CENTER HARBOR | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2532 | 0997 | PART REL | REIKO CHENG REVOC TRST | MOULTONBOROUGH | MTG 2327-109 |
| 05/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2532 | 0996 | DISCHARGE | RAYMOND R REED & | CARROLL | MTG 2297-229 / ASMT ... |
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| 02/02/2007 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2603 | 0206 | DISCHARGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | MTG 2539-886 & ASM... |
| 03/14/2007 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2611 | 0813 | DISCHARGE | SQUARE HILL PARTNERS | MOULTONBOROUGH | MTG 2539-856 & ASM... |
| 03/14/2007 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2611 | 0814 | DISCHARGE | REIKO CHENG | MOULTONBOROUGH | MTG 2539-872 & ASM... |
| 11/21/2007 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2676 | 0352 | DISCHARGE | RAYMOND R REED & | MOULTONBOROUGH | MTG 2297-215 |
| 09/21/2009 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2810 | 0553 | DISCHARGE | RICHARD N KRAUTH | MOULTONBOROUGH | MTG 2532-998 & ASM... |

CHCC Grantee Index 2006-2022

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|------------|--------------------------|-----------------------|---------|------|------|-------------------|------------------------|----------------|-------------------------|
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| 09/10/2009 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2814 | 0584 | DISCHARGE | PENSCO TRUST CO FBO | MOULTONBOROUGH | MTG 2533-022, ASMT ... |
| 09/10/2009 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 2814 | 0586 | DISCHARGE | HARRY H BEAN & | MOULTONBOROUGH | MTG 2533-022, ASMT ... |
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| 11/14/2014 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 3173 | 0350 | PART REL | C L & M INC | MOULTONBOROUGH | WRIT 2851-681 |
| 11/14/2014 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 3173 | 0348 | DISCHARGE | ROBERT P FARAH | CARROLL | MTG 3016-417 |
| 11/14/2014 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 3173 | 0349 | RELEASE | RICHARD N KRAUTH | CARROLL | WRIT 3118-114 & 115 |
| 03/03/2015 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 3189 | 0273 | PART REL | C L & M INC & | MOULTONBOROUGH | 2851-681 |
| 03/03/2015 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTEE | 3189 | 0267 | ORDER | CTR HARBOR CHRISTIAN | MOULTONBOROUGH | BANKRUPTCY |
| 08/19/2011 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTEE | 2945 | 0080 | RELEASE | RONNIE P STONE & | CARROLL | WRIT #7057 |
| 05/14/2015 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTEE | 3199 | 0928 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 05/14/2015 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTEE | 3199 | 0928 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
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| 05/14/2015 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTEE | 3199 | 0928 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 05/14/2015 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTEE | 3199 | 0928 | RDM TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 03/29/2018 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTEE | 3380 | 0523 | RDM TOWN TAX LIEN | MOULTONBOROUGH TOW... | MOULTONBOROUGH | SEE RECORD |
| 03/29/2018 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTEE | 3380 | 0523 | RDM TOWN TAX LIEN | MOULTONBOROUGH TOW... | MOULTONBOROUGH | SEE RECORD |
| 08/13/2018 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTEE | 3402 | 0471 | RDM TOWN TAX LIEN | MOULTONBOROUGH TOW... | MOULTONBOROUGH | SEE RECORD |
| 05/25/2005 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTEE | 0000 | 7055 | RELEASE | RONNIE P STONE & | CARROLL | SEE RECORD |
| 10/18/2000 | CENTER HARBOR | CHRISTIAN CHURCH I... | GRANTEE | 1886 | 0892 | DISCHARGE | CHARLES A VOSE JR | MOULTONBOROUGH | MTG 1667-873 |
| 10/18/2000 | CENTER HARBOR | CHRISTIAN CHURCH I... | GRANTEE | 1886 | 0892 | DISCHARGE | CHARLES A VOSE JR | MOULTONBOROUGH | MTG 1667-873 |
| 12/01/2017 | CENTER HARBOR CHRISTI... | | GRANTEE | 3364 | 0077 | REL OF LIEN | FARAH ROBERT P | MOULTONBOROUGH | |
| 12/01/2017 | CENTER HARBOR CHRISTI... | | GRANTEE | 3364 | 0078 | DISCHARGE | THOMANA REALTY LLC | CARROLL | MORTGAGE |
| 03/29/2018 | CENTER HARBOR CHRISTI... | | GRANTEE | 3380 | 0523 | RDM TOWN TAX LIEN | MOULTONBOROUGH TOW... | MOULTONBOROUGH | SEE RECORD |
| 08/13/2018 | CENTER HARBOR CHRISTI... | | GRANTEE | 3402 | 0471 | RDM TOWN TAX LIEN | MOULTONBOROUGH TOW... | MOULTONBOROUGH | SEE RECORD |

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| 01/12/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 0213 | 0028 | PLAN | | MOULTONBOROUGH | SUBDIVISION SHEET ... |
| 01/12/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2497 | 0077 | AGREEMNT | CENTER HARBOR | MOULTONBOROUGH | SEE RECORD |
| 01/12/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 0213 | 0027 | PLAN | | MOULTONBOROUGH | SUBDIVISION SHEET ... |
| 01/12/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 0213 | 0026 | PLAN | | MOULTONBOROUGH | BLA |
| 01/19/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2498 | 0533 | DECLARATN | | MOULTONBOROUGH | & ESAEMENTS |
| 05/24/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2532 | 0998 | MORTGAGE | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2533 | 0001 | ASSIGMNT | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2533 | 0006 | MORTGAGE | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2533 | 0033 | ASSIGMNT | HARRY H BEAN & | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2533 | 0038 | MORTGAGE | PENSCO TRUST CO F/B/O | MOULTONBOROUGH | SECOND |
| 05/24/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2533 | 0022 | MORTGAGE | HARRY H BEAN & | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2533 | 0017 | ASSIGMNT | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 12/19/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2590 | 0911 | WARRANTY | DONALD E DODGE | MOULTONBOROUGH | SEE RECORD |
| 12/19/2006 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2590 | 0913 | RESOLUTION | ROBERT P FARAH | MOULTONBOROUGH | CORP |
| 10/01/2008 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2742 | 0248 | ASSIGMNT | EQUITY TR CO CUST | MOULTONBOROUGH | MTG 2538-774 / ASMT ... |
| 10/01/2008 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2742 | 0250 | ASSIGMNT | EQUITY TR CO CUST | MOULTONBOROUGH | MTG 2538-774 / ASMT ... |
| 06/07/2011 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2933 | 0701 | FORE DEED | DONALD KELTS | MOULTONBOROUGH | X-REF 2538-664 |
| 04/13/2012 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2991 | 0951 | FORE DEED | THOMANA REALTY LLC | MOULTONBOROUGH | X-REF 2539-904 |
| 04/13/2012 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 2991 | 0946 | FORE DEED | THOMANA REALTY LLC | MOULTONBOROUGH | X-REF 2533-006 |
| 08/01/2012 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3014 | 0835 | FORE DEED | THOMANA REALTY LLC | MOULTONBOROUGH | X-REF 2538-728 |
| 08/08/2012 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3016 | 0329 | AFFIDAVIT | THOMANA REALTY LLC | CARROLL | X-REF 3014-835 |
| 08/08/2012 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3016 | 0417 | MORTGAGE | ROBERT P FARAH | MOULTONBOROUGH | SEE RECORD |
| 08/17/2012 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3018 | 0198 | WRIT | RICHARD N KRAUTH | CARROLL | SEE RECORD |
| 08/23/2013 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3100 | 0972 | ASSIGMNT | FAMILY ADVANTAGE | MOULTONBOROUGH | SMTG 2539-792 & AS... |
| 11/19/2013 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3118 | 0115 | NOTICE | RICHARD N KRAUTH | CARROLL | OF DECISION |
| 11/19/2013 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3118 | 0114 | NOTICE | RICHARD N KRAUTH | CARROLL | OF DECISION |
| 11/19/2013 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3118 | 0108 | AGREEMNT | CTR HARBOR CHRISTIAN | MOULTONBOROUGH | SETTLEMENT |
| 11/25/2013 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3119 | 0135 | FORE DEED | FAMILY ADVANTAGE | MOULTONBOROUGH | X-REF 2539-792 |
| 11/25/2013 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3119 | 0142 | AFFIDAVIT | FAMILY ADVANTAGE | MOULTONBOROUGH | SCRIVENER'S ERROR |
| 11/14/2014 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3173 | 0353 | MORTGAGE | THOMANA REALTY LLC | MOULTONBOROUGH | SEE RECORD |
| 03/03/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3189 | 0270 | DEED | MARCEAU REAL ESTATE | MOULTONBOROUGH | TRUSTEE |
| 03/03/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3189 | 0267 | ORDER | FINANCIAL RESOURCES | MOULTONBOROUGH | BANKRUPTCY |

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| 05/06/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3198 | 0961 | ASSIGMNT | JMDA RLTY DEV LLC | CARROLL | 2543-833 & 2543-844 |
| 07/06/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3209 | 0097 | FORE DEED | MARCEAU REAL ESTATE | MOULTONBOROUGH | X-REF 2543-833 |
| 04/21/2014 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3138 | 0724 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 04/21/2014 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3138 | 0746 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 05/11/2015 | CENTER | HARBOR CHRISTIAN ... | GRANTOR | 3199 | 0577 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 01/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2497 | 0077 | AGREEMNT | CENTER HARBOR | MOULTONBOROUGH | SEE RECORD |
| 01/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 0213 | 0028 | PLAN | | MOULTONBOROUGH | SUBDIVISION SHEET ... |
| 01/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 0213 | 0027 | PLAN | | MOULTONBOROUGH | SUBDIVISION SHEET ... |
| 01/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 0213 | 0026 | PLAN | | MOULTONBOROUGH | BLA |
| 01/19/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2498 | 0533 | DECLARATN | | MOULTONBOROUGH | & ESAEMENTS |
| 03/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2515 | 0103 | EASEMENT | VERIZON NEW ENGLAND & | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2533 | 0038 | MORTGAGE | PENSCO TRUST CO F/B/O | MOULTONBOROUGH | SECOND |
| 05/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2533 | 0033 | ASSIGMNT | HARRY H BEAN & | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2533 | 0006 | MORTGAGE | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2532 | 0998 | MORTGAGE | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2533 | 0001 | ASSIGMNT | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |

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| 05/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2533 | 0022 | MORTGAGE | HARRY H BEAN & | MOULTONBOROUGH | SEE RECORD |
| 05/24/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2533 | 0017 | ASSIGMNT | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0771 | ASSIGMNT | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0712 | MORTGAGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0675 | ASSIGMNT | DONALD KELTS | MOULTONBOROUGH | SEE RECORD |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0664 | MORTGAGE | DONALD KELTS | MOULTONBOROUGH | & ASMT |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0755 | ASSIGMNT | ENTRUST ADMIN SERVS | MOULTONBOROUGH | SEE RECORD |
| 06/12/2008 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0739 | ASSIGMNT | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0680 | MORTGAGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | & ASMT |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0728 | MORTGAGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0696 | MORTGAGE | ENTRUST ADMIN SERVS | MOULTONBOROUGH | & ASMT |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0707 | ASSIGMNT | ENTRUST ADMIN SERVS | MOULTONBOROUGH | SEE RECORD |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0760 | MORTGAGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | & ASMT |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0691 | ASSIGMNT | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0723 | ASSIGMNT | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/12/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2538 | 0744 | MORTGAGE | ENTRUST ADMIN SERVS | MOULTONBOROUGH | & ASMT |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0888 | MORTGAGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0915 | ASSIGMNT | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0883 | ASSIGMNT | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0803 | ASSIGMNT | CHRISTOPHER B KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0872 | MORTGAGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SECOND |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0792 | MORTGAGE | CHRISTOPHER B KRAUTH | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0856 | MORTGAGE | SQUARE HILL PARTNERS | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0867 | ASSIGMNT | SQUARE HILL PARTNERS | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0840 | MORTGAGE | HARRY H BEAN & | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0851 | ASSIGMNT | HARRY H BEAN & | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0899 | ASSIGMNT | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0808 | MORTGAGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SECOND |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0824 | MORTGAGE | C&K 2005 REALTY TRUST | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0819 | ASSIGMNT | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0835 | ASSIGMNT | C&K 2005 REALTY TRUST | MOULTONBOROUGH | SEE RECORD |
| 06/14/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2539 | 0904 | MORTGAGE | RICHARD N KRAUTH | MOULTONBOROUGH | SEE RECORD |

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| 06/28/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2543 | 0844 | ASSIGMNT | RALPH JENKINS & | MOULTONBOROUGH | SEE RECORD |
| 06/28/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2543 | 0833 | MORTGAGE | RALPH JENKINS & | MOULTONBOROUGH | SEE RECORD |
| 06/28/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2543 | 0817 | MORTGAGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/28/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2543 | 0849 | MORTGAGE | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SECOND |
| 06/28/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2543 | 0828 | ASSIGMNT | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 06/28/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2543 | 0860 | ASSIGMNT | REIKO CHENG REVOC TRST | MOULTONBOROUGH | SEE RECORD |
| 08/02/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2553 | 0431 | EASEMENT | NH ELECTRIC COOP INC & | MOULTONBOROUGH | X-REF 1846-388 |
| 11/20/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2584 | 0407 | AMENDMENT | | MOULTONBOROUGH | 1ST TO DECL CQV/RE... |
| 11/20/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2584 | 0410 | WARRANTY | DONALD E DODGE | MOULTONBOROUGH | SEE RECORD |
| 11/20/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2584 | 0409 | RESOLUTION | ROBERT P FARAH | MOULTONBOROUGH | CORPORATE |
| 12/19/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2590 | 0911 | WARRANTY | DONALD E DODGE | MOULTONBOROUGH | SEE RECORD |
| 12/19/2006 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2590 | 0913 | RESOLUTION | ROBERT P FARAH | MOULTONBOROUGH | CORP |
| 10/01/2008 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2742 | 0250 | ASSIGMNT | EQUITY TR CO CUST | MOULTONBOROUGH | MTG 2538-774 / ASMT ... |
| 10/01/2008 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2742 | 0248 | ASSIGMNT | EQUITY TR CO CUST | MOULTONBOROUGH | MTG 2538-774 / ASMT ... |
| 04/07/2009 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2777 | 0253 | WARRANTY | LBSF 2005 RLEATY TRUST | MOULTONBOROUGH | SEE RECORD |
| 04/07/2009 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2777 | 0234 | WARRANTY | LB REALTY TRUST | MOULTONBOROUGH | SEE RECORD |

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| 10/16/2009 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2821 | 0155 | AMENDMENT | LACONIA SAVINGS BANK | MOULTONBOROUGH | MTG 2224-273 & ASM... |
| 04/06/2010 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2851 | 0681 | WRIT | US BANKRUPTCY COURT | CARROLL | SEE RECORD |
| 04/12/2010 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2852 | 0645 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 06/07/2011 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2933 | 0701 | FORE DEED | DONALD KELTS | MOULTONBOROUGH | X-REF 2538-664 |
| 06/30/2011 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2937 | 0462 | ASSIGMNT | THOMANA REALTY LLC | MOULTONBOROUGH | MTG 2538-728 & ASM... |
| 04/13/2012 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2991 | 0946 | FORE DEED | THOMANA REALTY LLC | MOULTONBOROUGH | X-REF 2533-006 |
| 04/13/2012 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 2991 | 0951 | FORE DEED | THOMANA REALTY LLC | MOULTONBOROUGH | X-REF 2539-904 |
| 08/08/2012 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3016 | 0417 | MORTGAGE | ROBERT P FARAH | MOULTONBOROUGH | SEE RECORD |
| 08/08/2012 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3016 | 0329 | AFFIDAVIT | THOMANA REALTY LLC | CARROLL | X-REF 3014-835 |
| 08/17/2012 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3018 | 0198 | WRIT | RICHARD N KRAUTH | CARROLL | SEE RECORD |
| 08/23/2013 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3100 | 0972 | ASSIGMNT | FAMILY ADVANTAGE | MOULTONBOROUGH | SMTG 2539-792 & AS... |
| 11/19/2013 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3118 | 0108 | AGREEMNT | CTR HARBOR CHRISTIAN | MOULTONBOROUGH | SETTLEMENT |
| 11/19/2013 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3118 | 0115 | NOTICE | RICHARD N KRAUTH | CARROLL | OF DECISION |
| 11/19/2013 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3118 | 0114 | NOTICE | RICHARD N KRAUTH | CARROLL | OF DECISION |
| 11/25/2013 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3119 | 0142 | AFFIDAVIT | FAMILY ADVANTAGE | MOULTONBOROUGH | SCRIVENER'S ERROR |
| 11/25/2013 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3119 | 0135 | FORE DEED | FAMILY ADVANTAGE | MOULTONBOROUGH | X-REF 2539-792 |
| 11/14/2014 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3173 | 0353 | MORTGAGE | THOMANA REALTY LLC | MOULTONBOROUGH | SEE RECORD |
| 03/03/2015 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3189 | 0270 | DEED | MARCEAU REAL ESTATE | MOULTONBOROUGH | TRUSTEE |
| 03/03/2015 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3189 | 0267 | ORDER | FINANCIAL RESOURCES | MOULTONBOROUGH | BANKRUPTCY |
| 05/06/2015 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3198 | 0961 | ASSIGMNT | JMDA RLTY DEV LLC | CARROLL | 2543-833 & 2543-844 |
| 07/06/2015 | CENTER HARBOR | CHRISTIAN CHURCH | GRANTOR | 3209 | 0097 | FORE DEED | MARCEAU REAL ESTATE | MOULTONBOROUGH | X-REF 2543-833 |
| 04/08/2010 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2851 | 0946 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 04/06/2011 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2922 | 0932 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 04/06/2012 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2990 | 0351 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 04/16/2013 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 3072 | 0118 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 04/16/2013 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 3072 | 0027 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 04/21/2014 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 3138 | 0724 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 04/21/2014 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 3138 | 0746 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 04/08/2016 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 3255 | 0401 | TOWN TAX LIEN | TOWN OF MOULTONBORO... | MOULTONBOROUGH | SEE RECORD |
| 06/09/2009 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2792 | 0739 | WARRANTY | LB REALTY TRUST | MOULTONBOROUGH | SEE RECORD |
| 06/09/2009 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2792 | 0721 | WARRANTY | LAWRENCE BALDI | MOULTONBOROUGH | SEE RECORD |
| 06/09/2009 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2792 | 0651 | WARRANTY | LB REALTY TRUST | MOULTONBOROUGH | SEE RECORD |

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| 08/09/2009 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2792 | 0633 | WARRANTY | LB REALTY TRUST | MOULTONBOROUGH | SEE RECORD |
| 08/09/2009 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2792 | 0686 | WARRANTY | LB REALTY TRUST | MOULTONBOROUGH | SEE RECORD |
| 08/04/2009 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2806 | 0964 | WARRANTY | LB REALTY TRUST | MOULTONBOROUGH | SEE RECORD |
| 08/04/2009 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2807 | 0021 | WARRANTY | LB REALTY TRUST | MOULTONBOROUGH | SEE RECORD |
| 08/04/2009 | CENTER HARBOR | CHRISTIAN CHURCH ... | GRANTOR | 2807 | 0001 | WARRANTY | LB REALTY TRUST | MOULTONBOROUGH | SEE RECORD |
| 12/01/2017 | CENTER HARBOR CHRISTI... | | GRANTOR | 3364 | 0098 | MORTGAGE | STRAUGHAN KEVIN & | MOULTONBOROUGH | SEE RECORD |
| 12/01/2017 | CENTER HARBOR CHRISTI... | | GRANTOR | 3364 | 0113 | PROM NOTE | STRAUGHAN KEVIN & | MOULTONBOROUGH | SEE RECORD |
| 12/01/2017 | CENTER HARBOR CHRISTI... | | GRANTOR | 3364 | 0079 | MISC | | CARROLL | SEE RECORD |

The screenshot shows a web browser window with the URL quickstart.sos.nh.gov/online/BusinessInquire/LandingPageBusinessSea. The page header features the New Hampshire Department of State logo and the text "NEW HAMPSHIRE DEPARTMENT OF STATE" on the left, and "SECRETARY OF STATE David M. Scanlan" on the right. Below the header is a navigation bar with "Search Business Names" and a "Back to Home" button. The main content area is titled "Search Result" and contains a table with two entries. The table has columns for Business Name, Business ID, Homestate Name, Previous Name, Business Type, Principal Office Address, Registered Agent Name, and Status. Both entries are for "AGAPE COMMUNITY CHURCH" with Business ID 24789, located at 80 Bean Rd, Moultonborough, NH, 03254, USA. The first entry's previous name is "CENTER HARBOR CHRISTIAN CHURCH" and the second is "CENTER HARBOR CHRISTIAN FELLOWSHIP". Both are Domestic Nonprofit Corporations with a status of "Good Standing" and no registered agent. Below the table, it says "Page 1 of 1, records 1 to 2 of 2" and there is a "Back" button.

| Business Name | Business ID | Homestate Name | Previous Name | Business Type | Principal Office Address | Registered Agent Name | Status |
|------------------------|-------------|----------------|------------------------------------|--------------------------------|--------------------------------------------|-----------------------|---------------|
| AGAPE COMMUNITY CHURCH | 24789 | | CENTER HARBOR CHRISTIAN CHURCH | Domestic Nonprofit Corporation | 80 Bean Rd, Moultonborough, NH, 03254, USA | N/A | Good Standing |
| AGAPE COMMUNITY CHURCH | 24789 | | CENTER HARBOR CHRISTIAN FELLOWSHIP | Domestic Nonprofit Corporation | 80 Bean Rd, Moultonborough, NH, 03254, USA | N/A | Good Standing |

Page 1 of 1, records 1 to 2 of 2

Back

| NEW HAMPSHIRE DEPARTMENT OF STATE | | SECRETARY OF STATE David M. Scanlan | |
|----------------------------------------------------------------------|------------------------------------------------------------|-------------------------------------------------------------|--|
| ← Back to Home | | | |
| Business Information | | | |
| Business Details | | | |
| Business Name: AGAPE COMMUNITY CHURCH | | Business ID: 24789 | |
| Business Type: Domestic Nonprofit Corporation | | Business Status: Good Standing | |
| Business Creation Date: 10/21/1983 | | Name in State of Incorporation: Not Available | |
| Date of Formation in Jurisdiction: 10/21/1983 | | Mailing Address: 80 Bean Rd, Moultonborough, NH, 03254, USA | |
| Principal Office Address: 80 Bean Rd, Moultonborough, NH, 03254, USA | | Last Nonprofit Report Year: 2020 | |
| Citizenship / State of Incorporation: Domestic/New Hampshire | | Next Report Year: 2025 | |
| Duration: Perpetual | | Phone #: 603-677-6826 | |
| Business Email: agapehomestead@yahoo.com | | Fiscal Year End Date: NONE | |
| Notification Email: agapehomestead@yahoo.com | | | |
| Principal Purpose | | | |
| S.No | NAICS Code | NAICS Subcode | |
| 1 | Other Services (except Public Administration) | Religious Organizations | |
| 2 | OTHER / RELIGIOUS | | |
| Page 1 of 1, records 1 to 2 of 2 | | | |
| Principals Information | | | |
| Name/Title | Business Address | | |
| Janna S Straughan / Treasurer | 36 Rt. 16B, Center Ossipee, NH, 03814, USA | | |
| David Ridings / Director | 12 Middleton Rd, Wolfeboro, NH, 03894, USA | | |
| Kevin W. Straughan / President | 80 Bean Rd., Moultonborough, NH, 03254, USA | | |
| Carol Attarian / Secretary | P.O. Box 743, West Ossipee, NH, 03890, USA | | |
| Marc Attarian / Vice President | P.O. Box 743, 23 Old Mill Rd, West Ossipee, NH, 03890, USA | | |

Principals Information

| Name/Title | Business Address |
|------------------------------|---------------------------------------------------------|
| Charlene Bergeron / Director | The Ledges #8, 67 Center St., Wolfeboro, NH, 03894, USA |

[< Previous](#)
[...](#)
[1](#)
[2](#)
[...](#)
[Next >](#)
 Page 2 of 2, records 6 to 6 of 6

[Go to Page](#)

Registered Agent Information

Name: Not Available

Registered Office Address: Not Available

Registered Mailing Address: Not Available

Trade Name Information

No Trade Name(s) associated to this business.

Trade Name Owned By

No Records to View.

Trademark Information

| Trademark Number | Trademark Name | Business Address | Mailing Address |
|---------------------|----------------|------------------|-----------------|
| No records to view. | | | |



NEW HAMPSHIRE
DEPARTMENT OF STATE

SECRETARY OF STATE
David M. Scanlan

Filing History

[← Back to Home](#)

| Business Name | Business ID |
|------------------------|-------------|
| AGAPE COMMUNITY CHURCH | 24789 |

| Filing# | Filing Date | Effective Date | Filing Type | Annual Report Year |
|------------|-------------|----------------|----------------------------|--------------------|
| 0004961461 | 07/20/2020 | 07/20/2020 | Nonprofit Report | 2020 |
| 0004768617 | 01/16/2020 | 01/16/2020 | Annual Report Reminder | N/A |
| 0004012589 | 02/09/2018 | 02/09/2018 | Change of Officer/Director | N/A |
| 0004012570 | 02/09/2018 | 02/09/2018 | Amendment | N/A |
| 0003671975 | 11/22/2017 | 11/22/2017 | Amendment | N/A |
| 0003197313 | 12/28/2015 | 12/28/2015 | Nonprofit Report | 2015 |
| 0000504124 | 11/10/2010 | 11/10/2010 | Annual Report | 2010 |
| 0000504123 | 10/08/2010 | 10/08/2010 | Reminder Letter | N/A |
| 0000504122 | 01/11/2006 | 01/11/2006 | Annual Report | 2005 |
| 0000504121 | 02/09/2000 | 02/09/2000 | Annual Report | 2000 |
| 0000504120 | 05/02/1995 | 05/02/1995 | Annual Report | 1995 |
| 0000504119 | 05/06/1994 | 05/06/1994 | Amendment | N/A |
| 0000504118 | 05/06/1994 | 05/06/1994 | Change of Officer/Director | N/A |
| 0000504117 | 04/20/1990 | 04/20/1990 | Annual Report | 1990 |
| 0000504116 | 03/28/1985 | 03/28/1985 | Amendment | N/A |
| 0000504115 | 04/19/1984 | 04/19/1984 | Amendment | N/A |
| 0000504114 | 10/21/1983 | 10/21/1983 | Business Formation | N/A |

Page 1 of 1, records 1 to 17 of 17

The State of New Hampshire

ARTICLES OF AGREEMENT

The undersigned, being persons of lawful age, associate under the provisions of the Laws of New Hampshire RSA 292 by the following:

Article 1. The name of this corporation shall be Center Harbor Christian Fellowship

Article 2. The object for which this corporation is established is (1) to establish a free church in the Town of Center Harbor; (2) to provide a place of public worship in the Town of Center Harbor; (3) to establish, maintain and conduct a seminary for the religious instruction of ministers and to ordain ministers; (4) to conduct and maintain services for divine worship and religious observance; (5) to further other religious and charitable work; and (6) to adopt and establish bylaws, and to make rules and regulations necessary for the management of its affairs.

*Article 3. In case of dissolution of corporation, the assets shall be distributed to one or more organizations with the same religious purposes.

Article 4. The address at which the business of this corporation is to be carried on is College Road, Center Harbor, New Hampshire, 03226.

Article 5. The amount of capital stock, if any, or the number of shares is none.

Article 6. Signatures and post office address of incorporators

PLEASE PRINT NAME(S) BELOW SIGNATURE LINE

| Names | Post Office Address |
|--------------------------------------------------------|---------------------------------------------------------------------|
| <u>Kenneth C. Rafferty, Jr.</u> Kenneth C. Rafferty | <u>RFD 5 LPMHV 6-7 LACONIA, N.H.</u> 117 E. 17th Ave LACONIA, NH |
| <u>George T. Weeks</u> | <u>P.O. Box 350 Center Harbor, N.H. 03226</u> |
| <u>Robert P. Parah</u> | <u>P.O. Box 372 Center Harbor NH 03226</u> |
| <u>Lewis H. Jackson</u> | <u>1051 N. Main St. LACONIA N.H.</u> |
| <u>Donald E. Dodge</u> | <u>03246</u> |

Town (or City) Clerk's office, Town (or City) of

Received and recorded this 19th day of October 19 83

Town (or City) Clerk

Ella T. Meddes

At least five signatures are required.

Recording Fee \$10.00

*To be used if tax exempt status is desired.

24789

Attachment B

Center Harbor Christian Fellowship

Rev. Robert P. Farah, Pastor • P.O. Box 350 • Center Harbor • New Hampshire 03226

Telephones (603) 253 • 8008 Office • (603) 253 • 7142 Residence

TO: Secretary of State
State of New Hampshire
Corporate Division

FROM: Center Harbor Christian Fellowship

Please note that on March 22, 1992 Scott D. Farah was appointed Secretary and Treasurer of the Center Harbor Christian Fellowship.



Robert P. Farah, Pastor

Center Harbor Christian Church

RECEIVED
MAY 06 1994
NEW HAMPSHIRE
SECRETARY OF STATE

STATE OF NEW HAMPSHIRE
 ARTICLES OF AMENDMENT
 to the
 ARTICLES OF AGREEMENT
 of
 CENTER HARBOR CHRISTIAN FELLOWSHIP

FILED
 MAY - 6 1994
 WILLIAM M. GARDNER
 NEW HAMPSHIRE
 SECRETARY OF STATE

Pursuant to the provisions of Section 7 of the New Hampshire Revised Statutes Annotated, Chapter 292, the undersigned corporation adopts the following Articles of Amendment to its Articles of Agreement:

The following amendments of the Articles of Agreement were unanimously adopted by the corporation at a special meeting called on August 1, 1993, in the manner prescribed by New Hampshire Revised Statutes Annotated, Chapter 292, Section 7:

1) Article 1 was amended to change the name of the corporation from the Center Harbor Christian Fellowship to the Center Harbor Christian Church.

2) Article 2 is amended to read as follows:

The object for which this corporation is established is (1) to establish a free church in the Town of Center Harbor; (2) to provide a place of public worship in the town of Center Harbor; (3) to establish, maintain and conduct schools for the religious instruction of ministers and to ordain ministers; (4) to conduct and maintain services for divine worship and religious observance; (5) to further other religious and charitable work; and (6) to adopt and establish by-laws, and to make rules and regulations necessary for the management of its affairs.

"The Corporation is organized exclusively for charitable, religious, and educational purposes, including, for such purposes, the making of distributions to organizations that qualify as exempt organizations under Section 501 (c) (3) of the Internal Revenue Code of 1954 (or the corresponding provision of any future United States Internal Revenue Law)."

ARTICLE II
 SECTION 1
 OFFICERS

The officers shall be, President, Treasurer, and Secretary.

SECTION 2
 PRESIDENT

The President shall be chief executive officer of the corporation. He shall preside at all meetings and shall have the right to sign, in behalf of the corporation, notes and other evidences of debts, contracts, checks and other written instruments.

The Treasurer shall be the financial agent of the corporation, have charge of and be responsible for all money which comes to his possession, and shall have the right to sign, in behalf of the corporation, notes and other evidences of debts, contracts, checks and written instruments. He shall keep records of the business and affairs for the corporation, and shall prepare and exhibit statements of his accounts at all annual meetings and at all other times when requested by the President or any other corporate officer. He shall keep and disburse the money pursuant to the contracts and obligations of the corporation. His books and records shall be at all times open to inspection by any officer of the corporation. He shall execute and deliver in behalf of the corporation all such instruments under its common seal.

SECTION 4
SECRETARY

The secretary shall be and continue to be an inhabitant of the State of New Hampshire, and keep his office therein. He shall be sworn to the faithful discharge of his duties. He shall attend all meetings of the corporate officers and record the proceedings thereof. He shall notify the corporate officers of their meetings in accordance with the By-Laws. He shall have charge of such books and papers as the corporate officers may direct. In the absence of the Secretary at any meeting, a temporary secretary shall be chosen and shall record the proceedings of such meeting.

Article 3 is amended to read as follows:

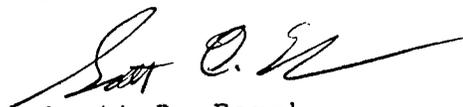
Upon the dissolution of the corporation, the corporate officers shall, after paying or making provisions for the payment of all of the liabilities of the corporation, dispose of all of the assets of the corporation, exclusively for the purposes of the corporation, or to such organization or organizations organized and operated exclusively for charitable, educational and religious purposes as shall at the time qualify as an exempt organization or organizations under Section 501 (c)(3) of the Internal Revenue Code of the 1954 (or the corresponding provision of any future United States Internal Revenue Law) as the corporate officers shall determine.

A True Record

Attested: August 1, 1993



Robert P. Farah, Pastor



Scott D. Farah
Treasurer/Secretary

Agape Community Church
Formerly known as
Center Harbor Christian Church
36 Route 16B
Center Ossipee NH 03814

Secretary Of State
State of New Hampshire
Corporate Division
107 N. Main St. #204
Concord NH 03301

Sirs;

We recently completed our annual meeting for the Center Harbor Christian Church and want to inform you of some of the changes we have made.

1) Enclosed please find a resolution of the board of directors to change the name of the corporation to Agape Community Church.

Please file this document.

2) Enclosed please find the Amended Articles of Agreement for the Agape Community Church which we have unanimously approved. Please file this document.

3) The new mailing address of the Agape Community Church is: 36

Route 16B Center Ossipee NH 03814. The physical address remains the same 80 Bean Road Mounonboro N.H.

4) The following are the board members for the next year: Mark Attarian, Dave Ridings, Charlene Bergeron, Jane Ridings, Carol Attarian, Janna Straughan, Kevin Straughan. Kevin Straughan is also the chairman of the board.

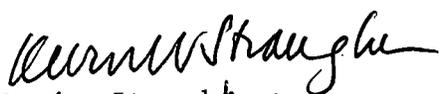
5) All other board members on record have resigned.

6) The following are the officers of the corporation for the next year: Kevin Straughan President, Janna Straughan Treasurer, Carol Attarian Secretary.

7) All previous officers of the corporation have resigned.

If you have any questions, or need any additional information please feel free to contact me at the above address or via phone at 603-677-6826.

Sincerely:


Kevin Straughan
~~CHAIRMAN~~
President, Agape Community Church
PRESIDENT

Filed

Date Filed: 7/20/2020

Effective Date: 7/20/2020

Business ID: 24789

William M. Gardner

Secretary of State



State of New Hampshire Department of State 2020 NONPROFIT REPORT

| |
|------------------------------------------------------|
| BUSINESS NAME: AGAPE COMMUNITY CHURCH |
| BUSINESS TYPE: Domestic Nonprofit Corporation |
| BUSINESS ID: 24789 |
| STATE OF INCORPORATION: New Hampshire |

| PREVIOUS PRINCIPAL OFFICE ADDRESS | PREVIOUS MAILING ADDRESS |
|-----------------------------------------------------|------------------------------------------------------|
| 80 Bean Rd Center Harbor, NH, 03226, USA | 36 Rt. 16B Center Ossipee, NH, 03814, USA |

| NEW PRINCIPAL OFFICE ADDRESS | NEW MAILING ADDRESS |
|------------------------------------------------------|------------------------------------------------------|
| 80 Bean Rd Moultonborough, NH, 03254, USA | 80 Bean Rd Moultonborough, NH, 03254, USA |

| PRINCIPAL PURPOSE(S) | |
|------------------------------------------------------|--------------------------------|
| NAICS CODE | NAICS SUB CODE |
| Other Services (except Public Administration) | Religious Organizations |
| OTHER / RELIGIOUS | |

| OFFICER / DIRECTOR INFORMATION | | |
|--------------------------------|-------------------------------------------------------------------|-----------------------|
| NAME | BUSINESS ADDRESS | TITLE |
| Kevin W. Straughan | 80 Bean Rd., Moultonborough, NH, 03254, USA | President |
| Marc Attarian | P.O. Box 743, 23 Old Mill Rd, West Ossipee, NH, 03890, USA | Vice President |
| Carol Attarian | P.O. Box 743, West Ossipee, NH, 03890, USA | Secretary |
| Janna S Straughan | 36 Rt. 16B, Center Ossipee, NH, 03814, USA | Treasurer |
| David Ridings | 12 Middleton Rd, Wolfeboro, NH, 03894, USA | Director |
| Charlene Bergeron | The Ledges #8, 67 Center St., Wolfeboro, NH, 03894, USA | Director |

I, the undersigned, do hereby certify that the statements on this report are true to the best of my information, knowledge and belief.

Title: **President**

Business Name: **Agape Community Church**

Signature: **Kevin W. Straughan**

Name of Signer: **Kevin W. Straughan**

Title of Signer: **President**



The State of New Hampshire
Department of Environmental Services

Robert R. Scott, Commissioner



September 6, 2022

NOTICE OF FINDINGS

Bay District Sewer Commission
P.O. Box 1527
Center Harbor, New Hampshire 03226

Re: Pump Station Overflow at 26 Colonial Drive, Moultonborough, NH 03254

Dear Commissioners,

The purpose of this Notice of Findings (NOF) is to gather information on the subject wastewater pump station located at 26 Colonial Drive, in Moultonborough (the site). On August 10, 2022, DES received a call about sewage overflow from the pump station. DES is gathering information to determine what violations have occurred and what appropriate enforcement measures should be taken, if any.

BACKGROUND

DES personnel visited the site on August 10, 2022, after receiving a call about sewage overflow from the pump station. Present at the site were Scott Dvorak, Moultonborough Health Officer, and Albert Solomon, resident at the property. Both of whom are copied on this correspondence. During the site visit, DES personnel did not observe an active discharge of sewage from the pump station, but did note dark ground surrounding the pump station, as would result from sewage release. On August 12, 2022, Lamprey Septic and a local electrician inspected the electrical panel and pumps at the pump station and made repairs. It is our understanding that the pump station is now operational with one 5 HP pump.

REQUESTED INFORMATION

DES requests the following information from the Bay District Sewer Commission:

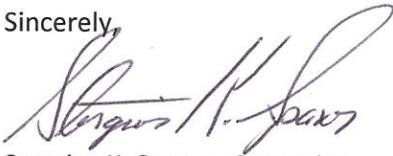
- 1) An inventory of the equipment in the pump station and the operational status of the equipment.
- 2) Any maintenance records associated with the equipment in the pump station, including dates of installation or replacement or repair of equipment.
- 3) Dates and descriptions of any overflow events from the pump station. Include volumes of sewage overflow from the pump station and measures taken to abate the overflows.
- 4) All correspondence related to the pump station since its inception.

Please submit the above requested information electronically to stergios.k.spanos@des.nh.gov by October 5, 2022.

As owner of the pump station, the Bay District Sewer Commission remains responsible for complying with all applicable requirements, whether found in statutes, rules, or applicable permit(s), regardless of whether

violations of the requirements were identified during this or any other investigation. These and future violations may result in State or Federal enforcement action. Actions may include issuing an order, initiating fine procedures, or seeking civil and/or criminal penalties. If requested a meeting may be scheduled to discuss the information requested above and the observations cited in this Notice of Findings by contacting me via email at stergios.k.spanos@des.nh.gov or by phone at 603-271-6637.

Sincerely,



Stergios K. Spanos, Supervisor
Permits and Compliance Section
Wastewater Engineering Bureau

cc: DES, WD, WWEB/File
Kerry Barnsley, Compliance Attorney, NHDES
Tracy Wood, WWEB Administrator, NHDES
Teresa Ptak, Compliance Supervisor, WEB, NHDES
Scott Dvorak, Health Officer, Town of Moultonborough
Albert Solomon, 26 Colonial Drive, Moultonborough



Code & Compliance & Health Office

Town of Moultonborough
6 Holland Street – P. O. Box 139
Moultonborough, NH 03254
(603) 476-2347 - Fax (603) 476-5835
e-mail: sdvorak@moultonboroughnh.gov

October 5, 2022

Thurston Family 2021 Trust
Michael S. & Heidi B. Thurston, Trustees
47 Colonial Drive
Moultonborough, NH 03254

LETTER OF DEFICIENCY
Sent by Certified Mail
7020 0640 0000 3527 9124

Re: 47 Colonial Drive

Dear Michael and Heidi:

On August 10, 2022, I visited a pump station located within the Colonial Drive subdivision in my capacity as the Town of Moultonborough's health officer along with James Talvy from NHDES Wastewater Engineering Bureau and conducted an inspection based on a complaint of spillage of sewage at the pumpstation that services the properties located on Colonial Drive.

After talking to Lamprey Septic Services, it was determined that the pumps are no longer working which has resulted in the daily monitoring and pumping of the pump station. This is not a permanent solution, and the septic system is in failure as defined in RSA 485-A-2: IV.

As the Health Officer for the Town of Moultonborough and I am advising you that the private sewage system servicing your property is a state of disrepair such it constitutes a source of danger to the health of the public for purposes RSA 147:17-a I. Pursuant to this statute, I am ordering that the private sewage system be put into proper sanitary condition by replacing the pump motor within 60 days of receipt of this letter. Pumping may continue until the pump motor(s) are replaced and working properly.

Please be advised that if the pumping were to cease, or if no corrective action is taken within the time stated earlier, the Town of Moultonborough may take corrective action and all costs associated with those actions shall be recovered under section 147:17-b. Further if it is determined that the conditions at your property constitute a clear and imminent danger to life or health of persons other than the occupants the Town, through its Health Officer could order the building vacated under section RSA147:16-a.

If you would like to avoid further action, please contact the Code Enforcement / Health Office, and I will discuss with you the steps required to bring this matter to compliance.

Sincerely,

Scott Dvorak
Town of Moultonborough
Health Officer

Cc: Charles F. Smith, Town Administrator (via email)
Matthew R. Serge, Esq. (via email)

Code Enforcement & Health Office

Town of Moultonborough
6 Holland Street - PO Box 139
Moultonborough, NH 03254
(603) 476-2347 * Fax (603) 476-5835
e-mail: sdvorak@moultonboroughnh.gov

January 13, 2023

Atty. Marcia Brown
Colonial Drive residents
Agape Community Church

RE: Colonial Drive septic pump system.

Dear Recipients

On December 21, 2022, I was glad to have received an email from Attorney Marcia Brown stating that monies for the pumps and installation had been secured for the failed septic pump that services Colonial Drive, however we seem to be at an impasse for the pump replacement.

The private sewerage system is still in a state of disrepair and in failure as defined in RSA 485-A-2: IV and constitutes a source of danger to the health of the public. The funds are secured so the system can be put into proper sanitary condition, and we have gone beyond the 60-day deadline from the Letter of Deficiency dated October 5, 2022. If money is allocated for parts and labor, then pumps must get replaced regardless. Pursuant to RSA 147:17-a I'm requiring that the pumps are replacement is within 30 days of the date of this letter.

Further if it is determined that the conditions at your property constitute a clear and imminent danger to life or health of persons other than the occupants the Town, through its Health Officer could order the building vacated under section RSA147:16-a.

Best Regards,



Scott Dvorak
Town of Moultonborough
Code Enforcement & Health officer

BCF

T. R. SELLING ENGINEERING, P.C.
Civil & Environmental
Engineering Consultants

*By phone 7/2/05
Boyaner lake 17
add'l copies*

Attachment E
RECEIVED
JUL 15 2005
DES-WEB

July 13, 2005

*BCF 10
TS 7/19/05 - No answer
w/agency
New Hampshire
7/19/05 #18 - will send
Ext send
1308*

Mr. Brad Foster
New Hampshire Department of Environmental Services
Wastewater Engineering Bureau
6 Hazen Drive, P. O. Box 95
Concord, NH 03302-0095

Re: **Wastewater Discharge Permit Request** -Winnepesaukee River Basin Program
Center Harbor Christian Church
Bean Road, Moultonborough, New Hampshire
TRSE Project No. 02-007

Dear Mr. Foster:

Pursuant to our June 30, 2005 telecon and your subsequent letter dated July 5, 2005, T. R. Selling Engineering, P.C. (TRSE) is pleased to provide you with the following information together with two sets of the revised engineering plans for the above referenced fourteen lot subdivision located along the north side of Bean Road in Moultonborough, NH.

1) Sanitary Sewer Forcemain - Culvert Location

TRSE has verified the elevations of the existing 18-inch diameter CMP culvert in Bean Road. The culvert will be underneath the proposed extension of the 8-inch PVC sanitary sewer in Bean Road, as shown on TRSE's sanitary sewer profile. We have indicated an additional 2-inch thick Styrofoam insulation to be placed underneath the proposed sanitary sewer when it is within ten feet of the culvert crossing. See TRSE's Sheet 5.

2) Well Radii - Conflicts with Sanitary Sewer Pipes ✓

TRSE has shifted the proposed locations of several private, domestic, water supply wells to avoid any conflicts with the proposed sanitary sewer pipes to the individual lots. See TRSE's Sheet Nos. 1 and 2.

3) Pump Station - Maintenance Contract

TRSE is pleased to enclosed a copy of the proposed maintenance contract dated July 5, 2005 from Mr. Scott Farah, with the Center Harbor Christian Church.

Need signature!

4) Sanitary Sewer Service - Lot #7

The proposed sanitary sewer service shown to Lot #7 is actually a force main sewer connection due to the change in grades to this lot. The lot owner will tie to the proposed 4-inch diameter PVC force main stub shown on this lot. See TRSE's Sheet No. 1.

5) Sanitary Sewer - Proximity to Cistern

The proposed sanitary sewer service servicing Lot #5 has been shifted further away from the proposed cistern in the cul-de-sac. See TRSE's Sheet No. 1.

6) Sanitary Sewer Pump Station- Standby Power Supply

TRSE has added a note that the proposed sanitary sewerage pump station must be equipped with a standby diesel generator. See TRSE's Sheet No. 5.

7) Electrical Service Availability

TRSE has conformed with PSNH that three phase electrical service is available in Bean Road to service this proposed subdivision.

8) Pump Station - Compliance with OSHA Safety Standards

Compliant with OSHA regulations, we have added a note on our plans indicating that a sign must be affixed to the hatch on the proposed pump station indicating "**Confined Space Entry - Permit Needed.**" See TRSE's Sheet No. 5.

9) Construction Detail - Forcemain Sewer Connection to SMH

TRSE added a construction detail regarding the 4" diameter PVC force main connection into the existing sanitary sewer manhole in Bean Road. See TRSE's Sheet No. 5.

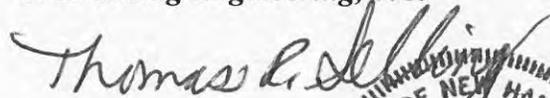
10) Proposed Pump Cycle - Shut-off Elevations

TRSE has consulted with ITT Flygt Corporation, and they have calculated the corresponding lead pump, lag pump and alarm elevations within the pump station. Those elevations are shown on our plans. See TRSE's Sheet No. 5.

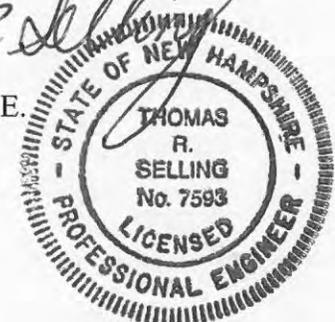
If you have any questions, please do not hesitate to contact me.

Sincerely,

T. R. Selling Engineering, P.C.



Thomas R. Selling, P.E.



Enclosure: Revised Sheets 1, 2, and 5.
copy: Pastor Bob Farah
Center Harbor Sewer Commission

Center Harbor Christian Church

Rev. Robert P. Farah, Pastor • P.O. Box 350 • Center Harbor • New Hampshire 03226

Telephones (603) 253-8008 Office • (603) 253-7142 Residence

RECEIVED
JUL 13 2005
DES-WEB

July 5, 2005

Mr. Brad Foster
New Hampshire Department of Environmental Services
Wastewater Engineering Bureau
6 Hazen Drive
P. O. Box 95
Concord, NH 03302-0095

Re: Wastewater Discharge Permit Request - Winnepesaukee River Basin Program
Center Harbor Christian Church
Bean Road, Moultonborough, New Hampshire

Dear Mr. Foster:

Pursuant to your telephone conversation on June 30, 2005 with Mr. Thomas R. Selling, P.E. with T. R. Selling Engineering, P.C. we are pleased to provide the following information.

Pump Station Maintenance

The Center Harbor Christian Church will be responsible for the proper operation and maintenance of the proposed sewerage pump station at the above referenced residential subdivision until it is taken over by the Bay District Sewer Commission or an interim owner.

We understand the Bay District Sewer Commission would like us to operate and maintain the sewerage pump station for five years before they will allow us to petition them for assuming the full responsibility for the pump station. If the project (and sewerage pump station) are purchased by another owner before the five year period is over, we will obligate the new owner to properly maintain the sewerage pump station until the Bay District Sewer Commission assumes responsibility for it.

If you have any questions, please call me.

Sincerely,

Scott Farah

Center Harbor Christian Church

Rev. Robert P. Farah, Pastor • P.O. Box 350 • Center Harbor • New Hampshire 03226

Telephones (603) 253-8008 Office • (603) 253-7142 Residence

July 5, 2005

Mr. Brad Foster
New Hampshire Department of Environmental Services
Wastewater Engineering Bureau
6 Hazen Drive
P. O. Box 95
Concord, NH 03302-0095

Re: **Wastewater Discharge Permit Request** - Winnipisaukee River Basin Program
Center Harbor Christian Church
Bean Road, Moultonborough, New Hampshire

Dear Mr. Foster:

Pursuant to your telephone conversation on June 30, 2005 with Mr. Thomas R. Selling, P.E. with T. R. Selling Engineering, P.C. we are pleased to provide the following information.

Pump Station Maintenance

The Center Harbor Christian Church will be responsible for the proper operation and maintenance of the proposed sewerage pump station at the above referenced residential subdivision until it is taken over by the Bay District Sewer Commission or an interim owner.

We understand the Bay District Sewer Commission would like us to operate and maintain the sewerage pump station for five years before they will allow us to petition them for assuming the full responsibility for the pump station. If the project (and sewerage pump station) are purchased by another owner before the five year period is over, we will obligate the new owner to properly maintain the sewerage pump station until the Bay District Sewer Commission assumes responsibility for it.

If you have any questions, please call me.

Sincerely,



Scott Farah



WASTEWATER CONNECTION PERMIT

Project Name: Colonial Oaks - Center Harbor Christian Church Subdiv.
 Location : Bean Road / Colonial Drive
 Engineer : Thomas R. Selling, PE - TR Selling Engineering, PC

Municipality/POTW : Moultonborough
 Official Signature : Ronald E. Ulm - Commissioner
 Date of Request : 5/10/2005

PERMIT/REQUEST NUMBER

D2005-0514

FLOW : 4.200 gallons/day

APPROVED DATE

7/25/2005

The Department of Environmental Services has reviewed and hereby approves the request as follows:
 Approval of the connection to the municipality's wastewater facilities is based on a review of the supporting information submitted and is subject to the conditions indicated below.

CONDITIONS :

Approval applies only to the sewerage plans and sewer connection request.

This approval will become void if the sewerage construction or discharge has not begun within two years of the approved date.

All sewerage construction must comply with the requirements of Chapter Env-Ws 700, the Standards of Design and Construction for Sewerage and Wastewater Treatment Facilities

Issued by : _____

Bradford C. Foster

WATER DIVISION - WASTEWATER ENGINEERING BUREAU - DESIGN REVIEW SECTION

cc Thomas R. Selling, PE - TR Selling Engineering, PC

**Center Harbor Christian Church
Bean Road
Moultonborough, NH**

Attachment E
RECEIVED
JUL. 22 2005
DES-WEB

SANITARY SEWERAGE PUMP STATION BUOYANCY CALCULATIONS

A) Calculate Pump Station (SMH) Buoyancy Force (Assumed Empty - No Sewerage Pumps Present)

Outside Dia. Concrete Manhole: 7'-6"

Overall Height Concrete Manhole: 18' (Submerged Ht. = 12') (Flood Elev. = 758.00)

Submerged Vol. of Concrete Manhole: $\Pi \times (7.5)^2 / 4 \times 12 = 530$ cu. ft.

$F_b \text{ SMH} = 530 \text{ cu. ft.} \times 62.4 \text{ lbs./cu. ft.} = 33,080 \text{ lbs (Buoyancy Force)}$

B) Calculate Dead Weight (SMH Empty) - (Flood Elev. = 758.00)

$F_w \text{ total} = F_w \text{ (SMH)}$

Weight of SMH = Cone Weight_{Wet} + Cone Weight_{Dry} + Base Weight_{Wet} + Cover Slab Weight

Cone Weight = ((Area Outside - Area Inside) x Height) x $\delta_{\text{Conc.}}$

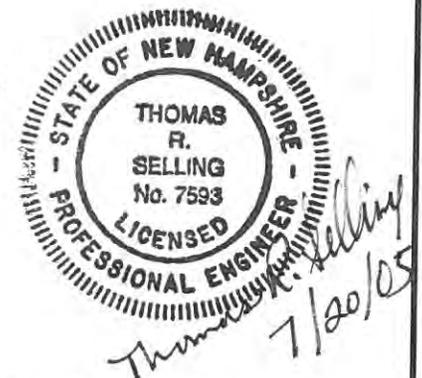
$= ((\Pi \times 7.5^2 / 4) - (\Pi \times 6^2 / 4) \times 11 \times (150 - 62.4) \text{ lbs./cf.}) +$

$((\Pi \times 7.5^2 / 4) - (\Pi \times 6^2 / 4) \times 6 \times (150) \text{ lbs./cf.}) +$

$((\Pi \times 7.5^2 / 4 \times 0.5) \times (150 - 62.4) \text{ lbs./cf.}) +$

$((\Pi \times 7.5^2 / 4 \times 1.0) - (2.5 \times 2.5 \times 1.0 \times 150 \text{ lbs./cf.}))$

$= 15,325 \text{ lbs.} + 14,314 \text{ lbs.} + 1,935 \text{ lbs.} + 5,689 \text{ lbs.} = 37,263 \text{ lbs. (PS. Wt. Down)}$



C) Calculate Factor of Safety (Against Floating)

$F_s = \frac{F_w}{F_b} = \frac{37,263 \text{ lbs.}}{33,080 \text{ lbs.}} = 1.13 \text{ (AOK)}$ (Note: Pumps and Fittings Wt. = 1,500 lbs.)

Center Harbor Christian Church

Attachment E

Rev. Robert P. Farah, Pastor • P.O. Box 350 • Center Harbor • New Hampshire 03226

Telephones (603) 253-8008 Office • (603) 253-7142 Residence

July 5, 2005

RECEIVED
JUL 21 2005
DES-WEB

Mr. Brad Foster
New Hampshire Department of Environmental Services
Wastewater Engineering Bureau
6 Hazen Drive
P. O. Box 95
Concord, NH 03302-0095

Re: **Wastewater Discharge Permit Request** -Winnipisaukee River Basin Program
Center Harbor Christian Church
Bean Road, Moultonborough, New Hampshire

Dear Mr. Foster:

Pursuant to your telephone conversation on June 30, 2005 with Mr. Thomas R. Selling, P.E. with T. R. Selling Engineering, P..C. we are pleased to provide the following information.

Pump Station Maintenance

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We understand the Bay District Sewer Commission would like us to operate and maintain the sewerage pump station for five years before they will allow us to petition them for assuming the full responsibility for the pump station. If the project (and sewerage pump station) are purchased by another owner before the five year period is over, we will obligate the new owner to properly maintain the sewerage pump station until the Bay District Sewer Commission assumes responsibility for it.

If you have any questions, please call me.

Sincerely,



Scott Farah



The State of New Hampshire
Department of Environmental Services

Attachment E



Michael P. Nolin
Commissioner

July 6, 2005

Thomas R. Selling P. E.
35 Academy Street
Laconia, NH 03246

Handwritten: 1-4-05
WARD

Re: Moultonborough, Center Harbor Christian Church Sewer Project D2005-0514

Dear Mr. Selling:

We have completed a review of the proposed Center Harbor Christian Church sewer extension project. We regret the delay in this response. The comments below document our recent phone call regarding the project. Please review the comments and respond as needed.

1. Sewer lines are not permitted in the well radius protection areas, Env-Ws 706.09. Please revise drawings to eliminate the sewer extensions within the well radii. ✓
2. The sewer from SMH #1 to the existing SMH encounters a CMP. The elevations in this area are critical, has the elevation of the CMP been accounted for? Will the insulation protect the sewer if the CMP freezes? ✓
3. It appears that an additional SMH will be needed at Lot #7. ✓
4. The sewer is shown passing through the cistern at the cul-de-sac. ✓
5. The pump station installation must address the following:
 - a. Please provide a copy of the maintenance agreement for the proposed pump station (PS). ✓
 - b. Emergency power operations must be addressed for the PS, Env-Ws 707.06. ✓
 - c. A proposed set of elevations for the float switches should be provided with the design. ✓
 - d. Bouncy calculations should be provided for the basin.
 - e. An alarm system, a ladder and safety notices must be provided for the PS, Env-Ws 707.01, 707.04. ✓
 - f. Is three phase power available at this location? ✓

Please make the necessary corrections and submit the affected plans sheets for final approval. If there are any questions feel free to contact the undersigned at 217-3503.

Very truly yours,

Bradford C. Foster
Wastewater Engineering Bureau



State of New Hampshire
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 WATER DIVISION
 HAZEN DRIVE-P.O. BOX 95
 CONCORD, NH 03302-0095
 (603) 271-3503 FAX (603) 271-2867



WASTEWATER DISCHARGE PERMIT REQUEST
 (Winnepesaukee River Basin Program)

RECEIVED

MAY 11 2005

The Town/City of CENTER HARBOR / Mouthonboro proposes DES-WEB

A. To extend its sewage collection system by adding:

453 LF of 8 inch sewer at Bean Road ~~Street~~
1,083 8 " " Colonial Drive

and/or

B. To connect to its existing sewerage collection system the domestic flow from:

Center Harbor Christian Church Subdivision
 (Project Name or Description)

The Town/City hereby requests authorization to (add/decrease) 4,200 gal/day of
 (pretreated/untreated) wastewater to the WRBP Treatment Plant in Franklin, N.H.
 (Circle One)

The municipal sewerage collection system has no history of surcharge and there is no record of objections from persons presently connected to this system. This proposal meets with the approval of the Planning Board, the Engineering Department and all other local authorities.

Name: RONALD E. ULM Title: Commissioner
 (Print or Type) (Municipal Official)

Signature: Ronald E. Ulm Date: April 15, 2005

Name: VERNON C. HYPKINS Title: FPP Coordinator
 (Print or Type) (WRBP Official)

Signature: Vernon C. Hypkins Date: 5/10/05

See reverse side for additional instructions. Feel free to contact the Water Division at 603-271-3503, or the WRBP Franklin Plant at 603-934-2809, if you have any questions regarding this form or permit requirements.

INSTRUCTIONS - WASTEWATER DISCHARGE PERMIT REQUEST
(Winnepesaukee River Basin Program)

Attachment E

GENERAL: Use this Discharge Permit Request (DPR) form to request NHDES authorization to connect additional wastewater flow or construct an extension to the sewage collection system going to the Winnepesaukee River Basin treatment plant in Franklin, NH.

NHDES - Concord/ WRBP - Franklin

1. A DPR must be submitted to NHDES for any proposed wastewater connection in excess of 50 population equivalents (5,000 gal/day). The DPR must be signed by a municipal official to signify local approval, and forwarded to the WRBP together with two separate \$50 fee payable to: *State of New Hampshire - DES* for DES in Concord and *State of New Hampshire - Treasurer* for WRBP in Franklin. Upon review, the WRBP will forward the submittal to NHDES for review/approval.

A DPR need not be submitted for domestic discharges smaller than 5,000 gal/day *provided that* no sewerage construction is proposed *and provided that* such discharge is not deleterious to treatment plant operation, safety of personnel or receiving stream quality.

2. Under RSA's 485 and 485-A, engineering designs for new sewerage facilities - whether publicly or privately owned, and regardless of design flow - must be forwarded to the WRBP at least 30 days prior to construction for review and the DPR must be signed by a municipal official to signify local approval. Design submittals (three copies) must be accompanied by fee a payment based on the project design flow rate - \$0.10 per gal/day ("a dime a gallon") for design flows up to 10,000 gal/day, and an additional \$0.05 per gal/day for any flows in excess thereof payable to: *State of New Hampshire - DES* for DES in Concord and a separate \$50 fee payable to *State of New Hampshire - Treasurer* for WRBP in Franklin. Upon review, the WRBP will forward the submittal to NHDES for review/approval.

T. R. SELLING ENGINEERING, P.C.

Civil & Environmental
Engineering Consultants

RECEIVED

MAY 02 2005

April 28, 2005

Mr. Chris Hipkiss, Pretreatment Coordinator
New Hampshire Department of Environmental Services
Water Division – Winnepesaukee River Basin Program
P.O. Box 68
568 River Street
Franklin, NH 03235

Re: **Wastewater Discharge Permit Request – Additional Information**
Center Harbor Christian Church (“Colonial Oaks” Subdivision)
Bean Road, Moultonborough
TRSE Project No. 04-008

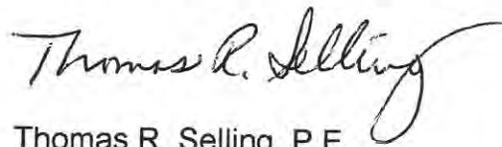
Dear Mr. Hipkiss:

T. R. Selling Engineering, P.C. (TRSE) is pleased to enclose two copies of TRSE’s Miscellaneous Details Sheet (Sheet No. 5 of 6) on behalf of the Center Harbor Christian Church members. At your request, we have added an additional sanitary sewer profile of the “cross country” sanitary sewer serving lots #13 and #14 within the subject subdivision.

If you have any questions, please contact me.

Sincerely,

T. R. Selling Engineering, P.C.



Thomas R. Selling, P.E.

Copy: Pastor Bob Farah
Center Harbor Sewer Comm.

T. R. SELLING ENGINEERING, P.C.
Civil & Environmental
Engineering Consultants

April 21, 2005

Mr. Chris Hipkiss, Industrial Pretreatment Coordinator
New Hampshire Department of Environmental Services
Water Division - Winnepesaukee River Basin Program
P.O. Box 68, 568 River Street
Franklin, NH 03235

RECEIVED
APR 21 2005

Re: **Wastewater Discharge Permit Request** -Winnepesaukee River Basin Program
Center Harbor Christian Church
Bean Road, Moultonborough, New Hampshire
TRSE Project No. 02-007

Dear Mr. Hipkiss:

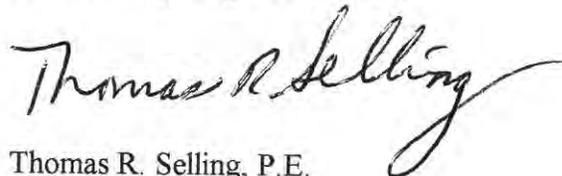
Pursuant to our recent telephone conversation, T. R. Selling Engineering, P.C. is pleased to send you an additional set of plans for the above referenced fourteen lot subdivision located along the northerly side of Bean Road in Moultonborough, NH.

We have also included new checks to cover the New Sewerage Facilities Regardless of Flow Rate fees. They include Check No. 3265, payable to the State of New Hampshire-Treasurer, and Check No. 3266 payable to State of New Hampshire-DES in the amount of \$420.00.

If you have any questions, please do not hesitate to contact me.

Sincerely,

T. R. Selling Engineering, P.C.



Thomas R. Selling, P.E.

Enclosure: 1 Set of Plans, 2 Checks

copy: Pastor Bob Farrah
Center Harbor Sewer Commission

CHCC-WWDP-Request(2).wps

T. R. SELLING ENGINEERING, P.C.

Civil & Environmental
Engineering Consultants

April 15, 2005

Mr. Chris Hipkiss, Industrial Pretreatment Coordinator
New Hampshire Department of Environmental Services
Water Division - Winnepesaukee River Basin Program
P.O. Box 68, 568 River Street
Franklin, NH 03235

Re: **Wastewater Discharge Permit Request** -Winnepesaukee River Basin Program
Center Harbor Christian Church
Bean Road, Moultonborough, New Hampshire
TRSE Project No. 02-007

Dear Mr. Hipkiss:

Please find enclosed the signed *Wastewater Discharge Permit Request* together with two sets of plans and specifications for the above referenced fourteen lot subdivision located along the northerly side of Bean Road in Moultonborough, NH. The property is approximately 2,300-feet northwest of the intersection of NH Route 25.

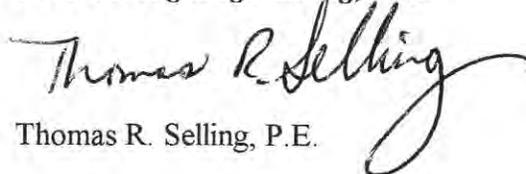
The proposed residential subdivision will discharge its sanitary sewerage into the existing sanitary sewer piping system in Bean Road. We understand this sanitary sewer system is owned by the Center Harbor Sewer Commission as it flows into their network before being pumped to the existing lagoons north of the site. We further understand that effluent from these lagoons is then pumped via a large force main pipe over to Meredith, NH, and it ultimately flows to the Winnepesaukee River Basin Program's wastewater treatment facility in Franklin, NH.

TRSE estimates that 453 linear feet of 8-inch diameter PVC sanitary sewer pipe will be added to the existing sanitary sewer system in Bean Road. In addition, we estimate that roughly 4,200 gal./day (i.e., 100/gal/day/person x 14 lots x 3 person/household) of domestic sanitary sewerage will be added to the your system as a result of the residential subdivision.

We have also included two separate \$50.00 fees, one payable to the State of New Hampshire-DES for the DES and the other payable to State of New Hampshire-Treasurer for WRBP in Franklin. If you have any questions, please do not hesitate to contact me.

Sincerely,

T. R. Selling Engineering, P.C.



Thomas R. Selling, P.E.

Enclosures

copy: Pastor Bob Farrah
Center Harbor Sewer Commission

CHCC-WWDP-Request.wps

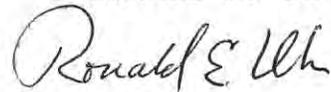
BAY DISTRICT SEWER
March 24, 2005

On March 24, 2005 there was a special meeting of the selectmen of Center Harbor and Moultonboro in Moultonboro, N.H. to discuss the extension of the sewer district Northerly on Bean Rd to include both sides of the road to a point Approx. $\frac{1}{4}$ mile to include the Stephens property (lot 40-34)

Those present were Lew Hanson, Lee Woodworth & Scott Davis from Center Harbor, Ernest Davis, Carol Crawford, Jerry Hopkins, Brian Moriarty and Mr Charest from Moultonboro and Ronald E. Ulm representing the Sewer District Commissioners.

After a short discussion on the Sewer Extension it was voted to accept the new addition to the sewer district.

RONALD E. ULM

A handwritten signature in cursive script that reads "Ronald E. Ulm".

T. R. Selling Engineering, P.C.
35 Academy Street
Laconia, NH 03246
(603) 524-9321

FROM: Thomas R. Selling, P.E.

FAX: 603-528-3138

DATE: 7-20-05

SUBJECT: Center Harbor Christian Church

PLEASE DELIVER TO:

NAME: Brad Foster

FAX: 271-2982

COMPANY: Des-WW

TOTAL NUMBER OF PAGES 2, INCLUDING COVER PAGE.

CONFIDENTIALITY NOTE

The documents accompanying this transmission contain information which is confidential or privileged. The information is intended to be for the use of the individual or entity named on this transmission sheet. If you are not the intended recipient, be aware that any disclosure, copying, distribution or use of the contents of this information is prohibited.

IF THERE IS ANY PROBLEM DURING THIS TRANSMISSION, PLEASE CALL:

(603) 524-9321 AND ASK FOR Tom

NOTES: P. Sta. Buoyancy Cales

Original of the transmitted document will be sent by:

First Class Mail Overnight Mail Hand Delivery

This transmission will be the only form of delivery of this document.

**Center Harbor Christian Church
Bean Road
Moultonborough, NH**

SANITARY SEWERAGE PUMP STATION BUOYANCY CALCULATIONS

A) Calculate Pump Station (SMH) Buoyancy Force (Assumed Empty - No Sewerage Pumps Present)

Outside Dia. Concrete Manhole: 7'-6"

Overall Height Concrete Manhole: 18' (Submerged Ht. = 12') (Flood Elev. = 758.00)

Submerged Vol. of Concrete Manhole: $\pi \times (7.5)^2 / 4 \times 12 = 530$ cu.ft.

F_b SMH = 530 cu.ft. x 62.4 lbs./cu.ft. = 33,080 lbs (Buoyancy Force)

B) Calculate Dead Weight (SMH Empty) - (Flood Elev. = 758.00)

$$F_w \text{ total} = F_w \text{ (SMH)}$$

Weight of SMH = Cone Weight_{Wet} + Cone Weight_{Dry} + Base Weight_{Wet} + Cover Slab Weight

Cone Weight = ((Area Outside - Area Inside) x Height) x δ _{Conc.}

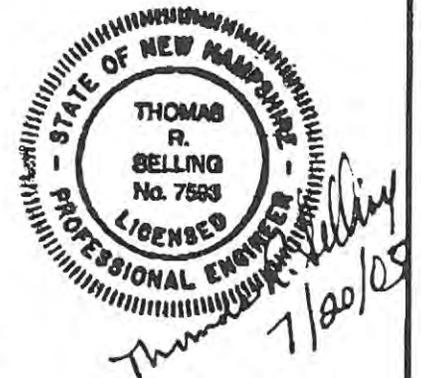
$$= ((\pi \times 7.5^2 / 4) - (\pi \times 6^2 / 4) \times 11 \times (150 - 62.4) \text{ lbs./cf.}) +$$

$$((\pi \times 7.5^2 / 4) - (\pi \times 6^2 / 4) \times 6 \times (150) \text{ lbs./cf.}) +$$

$$((\pi \times 7.5^2 / 4 \times 0.5) \times (150 - 62.4) \text{ lbs./cf.}) +$$

$$((\pi \times 7.5^2 / 4 \times 1.0) - (2.5 \times 2.5 \times 1.0 \times 150 \text{ lbs./cf.}))$$

$$= 15,325 \text{ lbs.} + 14,314 \text{ lbs.} + 1,935 \text{ lbs.} + 5,689 \text{ lbs.} = 37,263 \text{ lbs. (PS. Wt. Down)}$$



C) Calculate Factor of Safety (Against Floating)

$$F_s = \frac{F_w}{F_b} = \frac{37,263 \text{ lbs.}}{33,080 \text{ lbs.}} = 1.13 \text{ (AOK)} \quad (\text{Note: Pumps and Fittings Wt.} = 1,500 \text{ lbs.})$$

Center Harbor Christian Church

Rev. Robert P. Farah, Pastor • P.O. Box 350 • Center Harbor • New Hampshire 03226

Telephones (603) 253-8008 Office • (603) 253-7142 Residence

July 5, 2005

RECEIVED
JUL 8 2005
DES-WEB

Mr. Brad Foster
New Hampshire Department of Environmental Services
Wastewater Engineering Bureau
6 Hazen Drive
P. O. Box 95
Concord, NH 03302-0095

Re: **Wastewater Discharge Permit Request - Winnepesaukee River Basin Program**
Center Harbor Christian Church
Bean Road, Moultonborough, New Hampshire

Dear Mr. Foster:

Pursuant to your telephone conversation on June 30, 2005 with Mr. Thomas R. Selling, P.E. with T. R. Selling Engineering, P..C. we are pleased to provide the following information.

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If you have any questions, please call me.

Sincerely,

Scott Farah

WASTEWATER ENGINEERING BUREAU
DESIGN REVIEW
SEWER EXTENSION CHECKLIST

D Number 05-0514 Date 6/30/05 (rev'd 5/11/05)

I. Project Name: Colonial Oaks Town/City: Center Harbor / Mount Vernon
AKA Center Harbor Bay District
Christians Church

| II. Submission Complete: | YES | NO | N/A |
|-----------------------------------------|--------------------------------------------------------------|--------------------------|--------------------------|
| Fee paid | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Locus map | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| P.E. stamp | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Design flow calculations | <input checked="" type="checkbox"/> <i>no H₂O</i> | <input type="checkbox"/> | <input type="checkbox"/> |
| Application for sewer connection / LABP | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Plan and profile for all sewers | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Specifications for pipe and manholes | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Trench and manhole details | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

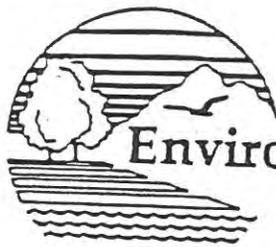
III. Submission Meets Minimum Standards:

| | | | |
|-------------------------------------------------------------|--------------------------------------|--------------------------|-------------------------------------|
| Sanitary flow only | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Minimum pipe diameter, 8 inches | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Minimum cover over pipes (6' paved, 4' cross country) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Invert drops 0.1 through manholes | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Maximum manhole spacing 500 feet <i>Proved</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Drop connections if invert difference is 2 feet or more | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Invert slope is less than 0.13 | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Trench dams if slope is more than 8% | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Minimum clearance to water lines 18 inch under 10' parallel | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Manhole covers 30 inch clear opening marked SEWER | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Pipe leakage test | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Manhole leakage test | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| PVC pipe deflection test, max 7.5 % in place | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Pipe bedding ATSM C33, size 67 under, sand over | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Utility crossing shown in profile | <input type="checkbox"/> <i>comp</i> | <input type="checkbox"/> | <input type="checkbox"/> |

IV. Engineer contacted Gen Set? Security, Lumber, Hutchings
6/30/05 3.00 S in well / head pro'gram 706.09 WS 725.09 75'
3ph? P/S cycle @
COMP @ Sta SMH #1 -> E ✓ DET - trench permit
Cover Beam w/ Insulation 2' ✓ SMH for Lot 7
L of S = Maint SECIST
W/S on main ✓

Tom Kelly 524-9321

XC Mount cont to WRBP



NEW HAMPSHIRE
DEPARTMENT OF
**Environmental
Services**

WATER DIVISION
6 Hazen Drive, P.O. Box 95
Concord, New Hampshire 03302-0095

Wastewater Engineering Bureau
Telephone # 1497
Fax # (603) 271-4128

DATE: 7/14/05

TO: Vernon Mirkose

OFFICE: WRBP PHONE: _____

FAX #: 934-4831 NO. OF PAGES TO FOLLOW 1

FROM: Brad Foster

COMMENTS:
Vern, Sorry I didn't copy you sooner
Brad

**Center Harbor Christian Church
Subdivision**

**Bean Road
Moultonborough, New Hampshire**

RECEIVED
MAY 11 2005
DES-WEB

**Sanitary Sewer Construction
Technical Specifications**

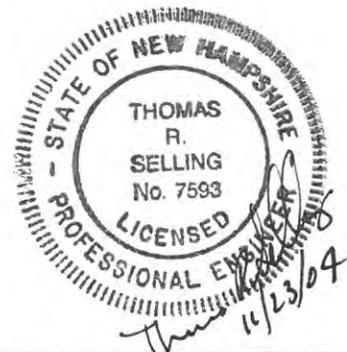
Prepared For:

**Center Harbor Christian Church
P.O. Box 350
Center Harbor, New Hampshire 03226**

Prepared By:

Mr. Thomas R. Selling, P.E.
T. R. Selling Engineering, P.C.
35 Academy Street
Laconia, NH 03246
(603) 524-9321

November 23, 2004



1120-20
Center Harbor Christian Church Subdivision
Bean Road, Moultonborough, NH
Sanitary Sewer Construction - Technical Specifications

Technical Specifications. The following shall be included as part of the technical portion of the specifications:

(a) For sewer pipe and joint materials, as follows:

(1) Vitrified clay pipe and fittings shall be extra strength. Vitrified clay pipe shall conform to the requirements of NCPI specifications for 3300 lbs./L.F. crushing strength vitrified clay pipe, designation ER 3300-67 and with NCPI specifications for standard and extra strength vitrified clay pipe, designation ER 4-67 or any subsequent editions. Manufacturer's certificate of compliance shall be furnished to the engineer, prior to installation. Methods of shipping and storage on site shall be such as to avoid damage to the pipe. Damaged pipe shall be rejected and removed from the job site.

(2) Joints shall be made with oil resistant compression rings in accordance with ASTM C-425. Manufacturer's instructions for installation shall be followed.

(3) Reinforced concrete pipe and fittings shall conform to ASTM C-76 or C-361 of a class or strength designated on the drawings. Manufacturer's certificate of compliance shall be furnished prior to installation. Cement shall be type II.

(4) Joints shall be made with oil resistant compression rings of an elastomeric material conforming to ASTM C-443.

(5) Cast iron pipe and fittings shall conform to the following standards of the United States of America Standards Institute.

- a. A21.1 Thickness design of cast-iron pipe.
- b. A21.4 Cement mortar lining for cast-iron and ductile iron pipe and fittings for water.
- c. A21.6 Cast-iron pipe centrifugally cast in metal molds, for water or other liquids
- d. A21.8 Cast-iron pipe centrifugally cast in sandlined molds for water or other liquids.
- e. A21.10 Gray iron and ductile iron fittings, 2 inches through 48 inches for water.
- f. Joints and gaskets shall be oil resistant and shall conform to A21.11 rubber gasket joints for cast-iron and ductile iron pressure pipe and fittings.

(6) Joints shall be of any of the following types:

- a. Mechanical type, b. Push-on type; c. Ball and socket type.

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(7) Ball and socket joints shall be boltless.

(8) Ductile iron pipe and fittings shall conform to the following standards of the United States of America Standards Institute:

- a. A21.51 Ductile iron pipe, centrifugally cast in metal molds or sandlined molds for water or other liquids.
- b. A21.50 Thickness design of ductile iron pipe and with ASTM A-536 ductile iron castings.
- c. Joints shall be as specified in Env-Ws 713.03 (3), cast-iron pipe, fittings, and joints.

(9) Plastic sewer pipe and fittings for use for all sewer projects in New Hampshire shall comply with the standards listed in Table 1, below:

TABLE 1

| <u>ASTM Standard</u> | <u>Generic Pipe Material</u> | <u>Sizes Approved</u> |
|----------------------|------------------------------|-----------------------------|
| D3034 | *PVC (solid wall) | 8" through 15" (SDR 35) |
| F679 | PVC (solid wall) | 18" through 27" (T-1 & T-2) |
| F789 | PVC (solid wall) | 4" through 18" (T-1 to T-3) |
| F794 | PVC (ribbed wall) | 8" through 36" |
| D2680 | *ABS (composites wall) | 8" through 15" |

*PVC: poly vinyl chloride

*ABS: acrylonitrile-butadiene-styrene

(10) Plastic sewer pipe stiffness measured during manufacture in accordance with ASTM D-2412 shall be a minimum of 46 psi and 5% deflection.

(11) Joint seals for PY C pipe shall be oil resistant compression rings of elastomeric material conforming to ASTM D-3212 and shall be push-on, bell and spigot type.

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(12) PVC used for force mains shall conform to ASTM D-2241 and D-1784 (class 12454-B) and safety factor of 2.5 shall be used for pressure rating determination with a standard dimension ratio (SDR) no higher than 26.

(13) ABS truss pipe and fittings shall conform to ASTM D-2680, polymer compounding shall be to ASTM D-1788 (class 322).

(14) ABS truss pipe stiffness measured during manufacture in accordance with ASTM D-2680, shall be a minimum of 200 psi at 5% deflection.

(15) Joints for ABS truss pipe shall be chemical welded couplings type SC in accordance with ASTM D-2680, forming a chemical welded joint.

(16) Prestressed concrete cylinder pipe and fittings shall conform to AWWA C.301 standard. Manufacturer's certificate of compliance shall be furnished, prior to installation. Cement shall be type II.

(17) a. Joints for concrete cylinder pipe shall be made of oil resistant elastomeric material conforming to AWWA C.301/ASTM specification.

(b) All portions of the sewer system including sewers, manholes, and force mains shall be tested for water tightness by the use of either water or low-pressure air. The rate of infiltration or exfiltration shall not exceed 100 gallons per inch of pipe diameter per mile of pipe, for sizes to 48": 200 gallons per inch of pipe diameter per mile over 48". Each section of pipe tested shall meet the above criterion. There shall be no more than 1000 feet of untested sewer constructed at any time. Force mains shall be tested in accordance with section 4 of American Water Works Association Standard C600 "installation of Cast Iron Water Mains", at a pressure equal to 150% of the design operating total dynamic head. Low pressure air test shall be to ASTM.C828.

c) Leakage tests shall be made and observed by the engineer on each manhole and may be tested, using a water exfiltration test as follows:

(1) In preparation for water testing and after the manhole has been assembled in place, all lifting holes shall be filled and pointed with an approved non-shrinking mortar.

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- (2) The test shall be made prior to placing the shelf and invert and before filling and pointing the horizontal joints.
- (3) If the groundwater table has been allowed to rise above the bottom of the manhole, it shall be lowered for the duration of the test.
- (4) All pipes and other openings into the manhole shall be plugged and the plugs braced to prevent blow out.
- (5) For exfiltration testing, the manhole shall then be filled with water to the top of the cone section
- (6) If the excavation has not been backfilled and observation indicates no visible leakage and no water is visibly moving down the outside surface of the manhole, the manhole may be considered to be satisfactorily watertight.
- (7) If the test as described above is unsatisfactory, or if the manhole excavation has been backfilled, the test shall be continued.
- (8) A period of time may be permitted to allow for absorption.
- (9) After absorption, the manhole shall be refilled to the top of the cone, if necessary, and a measuring time of at least 8 hours shall begin.
- (10) At the end of the test time, the manhole shall be refilled to the top of the cone, measuring the volume of water added and this amount shall be converted to a 24 hour rate per vertical foot of depth.
- (11) This rate shall not exceed 1 gallon per vertical foot for a 24-hour period.
- (12) If the test fails this requirement, but the leakage does not exceed 3 gallons per vertical foot per 24 hours, repairs may be made as directed by the engineer to bring the leakage within the allowable rate of 1 gallon per foot per day.
- (13) Leakage due to a defective section or joint or exceeding the 3 gallon per vertical foot per day, shall result in the rejection of the manhole.

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(14) It shall be the contractor's responsibility to uncover the manhole as necessary and to disassemble, reconstruct or replace it as directed by the engineer.

(15) The manhole shall then be retested and, if satisfactory, all interior joints and those exterior joints within 6 feet of the surface shall be filled and pointed.

(16) The test may be conducted either before or after backfilling around the manhole; however, if the contractor elects to backfill prior to testing, for any reason, it shall be at his own risk and it shall be incumbent upon the contractor to determine the reason for any failure of the test.

(17) No adjustment in the leakage allowance will be made for unknown causes, such as leaking plugs and absorption, and it shall be assumed that all loss of water during the test is a result of leaks through the joints or through the concrete.

(18) The contractor shall assure the engineer that the water table is below the bottom of the manhole throughout the test.

(d) If the groundwater table is above the highest joint in the manhole, and if there is no groundwater leakage into the manhole, an infiltration test can be used to evaluate the water-tightness of the manhole, however. If the engineer directs, the contractor shall lower the water table and carry out the test as described above.

(e) As an alternative to the above tests, a vacuum pressure test may be carried out to the following criteria:

1. Initial vacuum gage test pressure shall be 10" Hg. Test hold time for a 1" Hg. pressure drop to 9" Hg shall be:

- a. At least 2 minutes for 10 feet deep manholes;
- b. At least 2-1/2 minutes for 10-15 feet deep manholes; and
- c. At least 3 minutes for 15-25 feet deep manholes.

2. If the pressure drop exceeds the above limits the unit shall be repaired and retested and if a unit fails to meet a 1 " pressure drop in 1 minute, the unit shall be water tested per (c) or (d) above.

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(f) Flexible sewer pipe installation foundations shall be in accordance with Env-Ws 720.05. Side fill and bedding under haunches shall be compacted. A 12" sand blanket cover shall be placed and compacted. Trench widths shall be held to widths as stated on the drawings or as detailed in the specifications.

(g) Testing limits and test gauge diameter for plastic pipe.

(1) Acceptance limit for deflection tests of installed flexible sewer pipe, listed in Table 2 shall be 7-1/2% of average inside diameter. A test shall be conducted after a minimum of thirty days following installation.

TABLE 2 - PVC Materials

| | | |
|--------|------------|-----------|
| D 3034 | Solid Wall | 4" - 15" |
| F 679 | Solid Wall | 18" - 36" |
| F 789 | Solid Wall | 4" - 18" |
| F 794 | Ribbed | 18" - 48" |
| F 949 | Corrugated | 4" - 8" |

(2) The deflection gauge diameter (G) for this test shall be determined by the following formula: $G = .925 D$ inches (nominal)

where D is the average inside diameter given in the applicable ASTM standard. In the cases where inside diameters are not given they shall be determined by the following formula:

$$D = D' \sqrt{2(1.06 t)}$$

where t = the minimum solid wall thickness

D = the average outside diameter

(3) Construction specifications shall indicate percentage of pipe to be gauged and require results to be recorded and the municipality or owner notified of the results.

(4) Limits of installed deflection for other flexible pipe materials shall not exceed the above for PVC.

(h) Trench compaction; compaction shall be by rolling or mechanical tamping. Water jetting or puddling shall not be used unless directed, by the engineer. Puddling or jetting shall be permitted only if the soil material is graded.

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Env-Ws 720.05 Details of Design and Construction

(a) No sewer shall be less than 8 inches in diameter.

(b) Sewers shall be buried deep enough so as to receive sewage from basements and to prevent freezing. A minimum depth of cover for street installation shall be 6 feet and for cross-country installation shall be 4 feet.

(c) All sewers shall be constructed at such slopes as to prevent deposition of organic solids when flowing full based on Mannings's formula and an "n" value of .013 as set forth below. This shall mean a minimum velocity for design purposes of 2 feet per second (fps) when flowing full. Full advantage of suitable topography and paralleling of ground slopes shall be made. Sewers shall be laid with a uniform slope between manholes. Minimum slope to achieve minimum velocity shall be as set forth below.

| <u>Sewer Size</u> | <u>Minimum Slope, Feet Per Foot</u> |
|-------------------|-------------------------------------|
| 8 inch | .004 |
| 10 " | .0028 |
| 12 " | .0022 |
| 14 " | .0017 |
| 15 " | .0015 |
| 16 " | .0014 |
| 18 " | .0012 |
| 21 " | .0010 |
| 24 " | .0008 |
| 27 " | .0007 |
| 30 " | .0006 |

(d) Sewers 48 inches or less in diameter shall be laid with straight alignment between

(e) When a smaller sewer joins a larger one, the invert of the larger sewer shall be lowered sufficiently to maintain the same hydraulic gradient. An approximate method which may be used for securing these results is to place the 0.8 depth point of both sewers at the same elevation. Due to increasing sewer slopes, a reduction in the size of the outgoing sewer from a manhole may be allowed. Such a reduction shall not be permitted on sewers 24" in diameter or under, but allowed on sewers larger than 24" diameter if the capacity of the outgoing sewer is not exceeded.

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- (f) Where velocities greater than 10 feet per second may be attained, special provision shall be made to protect against displacement by erosion and shock.
- (g) Sewers shall be constructed of materials set forth in Env-Ws 713.03.
- (h) Sewers crossing streams or to be located within 10 feet of a stream embankment shall be of steel reinforced concrete, cast iron or other suitable material and shall be properly protected.
- (i) Pipe trench bedding material and fill material for ordered excavation below grade shall be screened gravel or crushed stone to ASTM C33 stone size No. 67.
- (j) Pipe sand blanket material shall be graded sand free from organic materials, so graded that 100% passes a 1/2 inch sieve; 15% (maximum) passes a #200 sieve and cover the pipe to a depth of 12 inches.
- (k) Trench back-fill material for in road, traveled ways and shoulders, shall be natural material excavated from trench during construction, excluding:
- (1) debris;
 - (2) pieces of pavement;
 - (3) organic matter;
 - (4) stop soil,
 - (5) all wet or soft muck;
 - (6) peat or clay;
 - (7) all excavated ledge material, or rocks over 6 inches in the largest dimension; or
 - (8) any material not approved by the engineer.
- (l) For cross-country construction, suitable material shall be as described above, except that the engineer may permit the use of top soil, loam, muck or peat, if he is satisfied that the completed construction will be entirely stable and provided that easy access to the sewer for maintenance and possibly reconstruction when necessary will be preserved. Backfill shall be mounded 6 inches above original ground.
- (m) Base course for trench repair shall meet the requirements of section 300 of the latest edition of the standard specifications for road and bridge construction of the state of New Hampshire Department of Transportation.

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(n) Where sheeting is placed alongside the pipe and extends below mid-diameter, it shall be cut off and left in place to an elevation not less than one foot above the top of the pipe. Where sheeting is to be left in place, it shall be cut off at least 3 feet below finished grade, but not less than one foot above the top of the pipe.

(o) In trench dimensions shall be as follows:

(1) For sewer pipe up to 15 inches in diameter, allowable trench width at plane 12 inches above pipe shall be no more than 36 inches.

(2) For pipe greater than 15 inches, the allowable width shall be equal to the pipe outside diameter plus 24 inches.

(3) The trench payment widths up to 10 feet deep, extending from a plane 12 inches above the pipe to the grade surface shall be for:

| <u>Size of Pipe</u> | <u>Width</u> |
|-------------------------------|--------------|
| a. 8 inches through 84 inches | 48 inches |

(4) Additional width for deeper trenching shall be limited to an increase of one foot for depths 10 feet to 15 feet and 2 feet for depths 15 feet to 20 feet.

(p) Trenches for sewer pipes with slopes over 0.08 feet per foot shall have trench dams to lower possible groundwater flow velocity and potential disturbance to pipe zone materials. Precaution shall be taken to avoid groundwater pooling at the surface by drainage to a suitable outlet at catch basins or run-off swales.

(q) Pipe bedding material shall extend from a horizontal plane through the pipe axis to 6 inch below the bottom of the pipe outside surface. Pipe sand blanket material shall cover the pipe a minimum of 12 inches above the crown of the outside surface. Compaction shall be in 12 inch layers for bedding and blanket materials. Backfill material shall be compacted in 3 feet layers to the ground surface except for road construction where the final 3 feet shall be compacted in 12 inch layers to the road base surface.

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Env-Ws 720.06 Manholes.

(a) All component parts shall have the strength, leakproofness, and space necessary for the intended service.

(b) Pre-cast manhole section assemblies or monolithically cast-in-place structure with or without steel reinforcement shall withstand H-20 loading and shall not leak in excess of one gallon per day per vertical foot of manhole for the life the structure. A period in excess of 25 years shall be the life of the structure.

(c) Barrels and cone sections shall be pre-cast reinforced or non-reinforced concrete, or poured-in-place reinforced or non-reinforced concrete.

(d) Base sections shall be monolithic to a point 6" above the crown of the incoming pipe, and shall be pre-cast reinforced concrete or pre-cast non-reinforced concrete.

(e) Horizontal joints between sections of pre-cast concrete barrels shall be of an overlapping type, which shall, in general, depend for water-tightness upon an elastomeric or mastic-like sealant.

(f) Pipe to manhole joints shall be as follows:

(1) Elastomeric, rubber, sleeve with watertight joints at the manhole opening and pipe surfaces.

(2) Joints at the manhole may be cast into wall or secured with stainless steel clamps, joints at the pipe shall be secured with stainless steel clamps.

(3) Elastomeric sealing ring cast in the manhole opening with seal formed on the surface of the pipe by compression of the ring.

(4) Non-shrink grouted joints where watertight bonding to the manhole and pipe can be obtained.

(g) Manhole cone sections shall be eccentric.

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(h) All pre-cast sections and bases shall have the date of manufacture and the name or trademark of the manufacturer impressed or indelibly marked on the inside wall.

(i) Manholes shall have a brick paved shelf and invert, constructed to conform to the size of pipe and flow. At changes in direction, the inverts shall be laid out in curves of the longest radius possible tangent to the center line of the sewer pipes. Shelves shall be constructed to the elevation of the highest pipe crown and slope to drain toward the flowing through channel underlayment of invert and shelf shall consist of brick masonry. Inverts and shelves shall be placed after testing.

(j) Materials of construction for manholes shall be as follows:

(1) Concrete for poured-in-place bases or complete manholes shall conform to the requirements for class A concrete in section 520 of the New Hampshire Department of Transportation's Standard Specifications.

(2) Reinforcing steel for poured-in-place concrete shall conform to the requirements of the New Hampshire department of transportation's standard specifications for billet-steel bars or welded steel wire fabric.

(3) Pre-cast concrete barrel sections, cones, and bases shall conform to ASTM C478 except as may be otherwise shown in these rules.

(4) Manhole frame and cover shall provide a 30" diameter clear opening. The cover shall have the letter "S" or the word "SEWER" in 3" letters cast into the top surface.

(5) The castings shall be of even-grained cast iron, smooth, free from scale, lumps, blisters, sandholes, and defects; contact surfaces of covers and frames shall be machined at the foundry, to prevent rocking of covers in any orientation.

(6) All castings shall be thoroughly cleaned and subject to a careful hammer inspection.

(7) Castings shall be equal to class 30, conforming to ASTM A 48. Coatings for frames and covers shall be specified in the construction specifications.

(8) Brick masonry for shelf, invert and grade adjustment shall comply with ASTM C-32, clay or shale, for grade SS hand brick.

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(9) Mortar shall be composed of Portland cement and sand with or without hydrated lime addition.

(10) Proportions of parts by volumes shall be: 4-1/2 parts sand, 1-1/2 parts cement or 4-1/2 parts sand, 1/2 part hydrated lime, 1 part cement.

(11) Cement shall be type II Portland cement conforming to ASTM C-150.

(12) Hydrated lime shall be type S conforming to the ASTM C-207 Standard Specification for Hydrated Lime for Masonry purposes, Designation C207.

(13) Sand shall consist of inert natural sand conforming to the ASTM Standard Specifications for Concrete, Fine Aggregates, Designation C33.

(14) Concrete for drop support shall conform to the requirement for class A 3000 concrete of the New Hampshire Department of Transportation's standard specifications as follows:

- a. Cement 6.0 bags per cubic yard
- b. Water 5.75 gallons per bag of cement
- c. Maximum size of aggregate 1 inch

(15) A flexible joint shall be provided within the following distances to the manhole joint:

- a. RCP & C I pipe - all sizes - 48" distance
- b. AC & VC pipe - up through 12" Dia - 18" distance
- c. AC & VC pipe - larger than 12" Dia - 36" distance
- d. DI pipe - no flexible point required.
- e. PVC up through 15" dia. - no flexible required.
- f. PVC larger than 15" Dia. - 48"-60" distance
- g. PVC All sizes - 48/60" distance
- h. ABS All sizes - same as VC above

(16) Shallow manhole in lieu of a cone section. When manhole depth is less than 6 feet, a reinforced concrete slab cover may be used, shall have an eccentric entrance opening and capable of supporting H-20 loads.

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(17) Manhole steps shall be permitted only at the request of the system owner; these steps shall be used as secondary entry means if a portable ladder is not available.

(18) Steps may be manufactured of 5/8" round stainless steel or forged aluminum alloy or plastic covered steel or aluminum.

(19) Steps shall be shaped so that they cannot be pulled out of the concrete wall in which they are secured.

(20) All steps shall meet the requirements of ASTM C478 for load carrying, capacity and pull-out resistance and steps shall not be secured with mortar.

(21) The steps shall have a drop section or raised abutments to prevent sideway slippage off the step, the foot contact surface shall have non-skid safety serrations and steps shall be approximately 14" x 10".

(22) Plastic covered steps shall have cover thickness and durability to last the lifetime of the manhole.

(k) Manholes shall be installed at the end of each sewer line, at all intersections, and at all changes in grade, size, or alignment. In establishing a maximum space between manholes, the engineer shall take cognizance of the cleaning equipment the owner already has on hand, or that he proposes the owner obtain in the case of a new sewer system, but in no case shall the distance between manholes be greater than 500 feet, for sewers up to and including 48" in diameter nor 1000' for larger sewers. Lampholes may be used for special conditions and shall not be substituted for manholes nor installed at the end of laterals greater than 200 feet in length.

(l) For drop type manholes. a drop pipe shall be provided for a sewer entering a manhole at an elevation of 04 inches or more above the manhole invert and may be internal or external to the manhole and the limits to the size and number of internal drop pipes shall be as follows:

(1) For 4'-0" diameter manholes, one 10" internal drop pipe in PVC or DI shall be allowed.

(2) For 5'-0" diameter manholes, one 15" or two 10" diameter drop pipes in PVC or DI shall be allowed.

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(m) Where the difference in elevation between the incoming sewer and the manhole invert is less than 24 inches, the slope of the incoming sewer shall be increased to meet the manhole invert for the entire length of the sewer to the next upstream manhole. Invert slopes of manholes shall not exceed .13 foot per foot.

(n) The minimum diameter of manholes shall be 48 inches. For sewers larger than 24" diameter, manhole diameters shall be increased so as to provide at least 12" of shelf on each side of the sewer.

(o) In the flow channel, a drop of at least 0.1 feet shall be provided between incoming and outgoing on all junction manholes and on manholes with bends greater than 45°.

(p) Watertight manhole covers shall be used wherever the manhole tops may be flooded by street runoff or high water.

(q) Electrical equipment installed or used in manholes shall conform to Env-Ws 721.01: (20), (21) and (22).

(r) Pre-cast bases shall be placed on a 6" layer of compacted bedding material. Bedding shall conform to ASTM C.33 No. 67 stone. The excavation shall be properly dewatered while placing bedding material and setting the base or pouring concrete. Water-stops shall be used at the horizontal joint of poured-in-place manholes.

(s) Inlet and outlet stubs shall be connected and sealed in accordance with the manufacturer's recommended procedure, or cast integrally with the poured base.

(t) Barrel sections and cones of the appropriate combination of heights shall then be placed, using manufacturer's recommended procedure, for sealing the horizontal joints, or the remaining barrel of the manhole shall be cast above the base.

(u) A leakage test shall then be made as described in the specifications.

(v) Following completion of the leakage test, the frame and cover shall be placed on the top of the manhole or some other means used to prevent accidental entry by unauthorized persons, children, or animals, until the contractor is ready to make final adjustment to grade.

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Env-Ws 720.07 Inverted Siphons. Inverted siphons shall have not less than 2 barrels, with a minimum pipe size of 6 inches and shall be provided with appurtenances for convenient flushing and maintenance. The manholes shall have adequate clearances for rodding and a hydraulic head shall be provided and pipe sizes selected to secure velocities of at least 3.0 feet per second for average flows. The inlet and outlet details shall be arranged so that the normal flow shall be diverted to one barrel, and so that either barrel may be cut out of service for cleaning.

End of Technical Specifications

105-0514

Attachment E



State of New Hampshire
DEPARTMENT OF ENVIRONMENTAL SERVICES

Winnepesaukee River Basin Program

Wastewater Treatment Plant

P.O. Box 68 • Franklin, NH • 03235

603-934-4032

FAX 603-934-4831

May 10, 2005



Mr. Stephen Roberts
DES/WD/WEB
29 Hazen Drive, P.O. Box 95
Concord, New Hampshire 03302-0095

RECEIVED
MAY 11 2005
DES-WEB

Re: "Colonial Oaks", Moultonborough, NH

Dear Mr. Roberts:

The WRBP has no objections to the requested increase flow of 4,200 gallons from the proposed 14 lot Center Harbor Christian Church Subdivision on Bean Road in Moultonborough. Enclosed are two copies of the plans and specifications for your review. A check for \$420 was processed on 04/25/05, A-15 # 561614, crediting the account RA 3141.

I have discussed with the project engineer the requirements of Env-Ws 1203.02(a) "Each building on an improved property shall be served by its own service connection." as it pertains to lots 5, 6 and 7 on sheet (2 of 6) of the proposed plans.

If you have any questions concerning this letter, please contact me at 934-2809.

Very truly yours,

Vernon Chris Hipkiss
Industrial Pretreatment
Coordinator, WRBP

enclosures:

cc: Richard Flanders, Director, WRBP
Steven Dolloff, Superintendent, WRBP
Ronald Ulm, Bay District Commissioner
Thomas R. Selling, P.E.
File

[desfran1\data\group\lab\dprs\developments\Colonial Oaks051005.doc]

- CONCORD OFFICE -

6 Hazen Drive, P.O. Box 95, Concord, NH 03302-0095

603-271-3504

TDD Access: Relay NH 1-800-735-2964

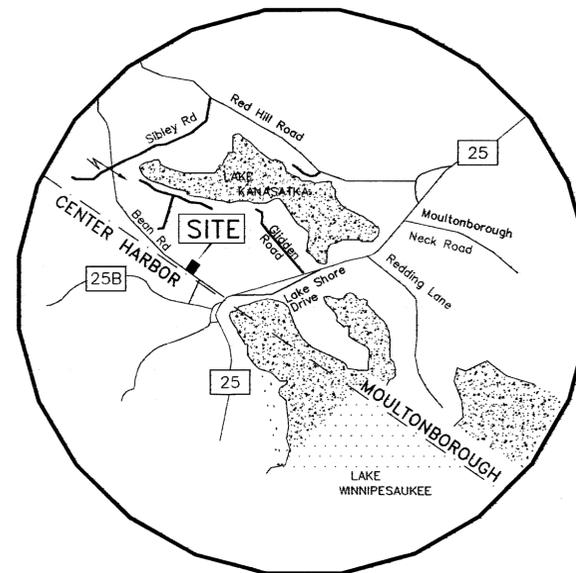
ENGINEERING PLANS

CENTER HARBOR CHRISTIAN CHURCH

TAX MAP 40, LOT NO. 38

BEAN ROAD

MOULTONBOROUGH, NEW HAMPSHIRE

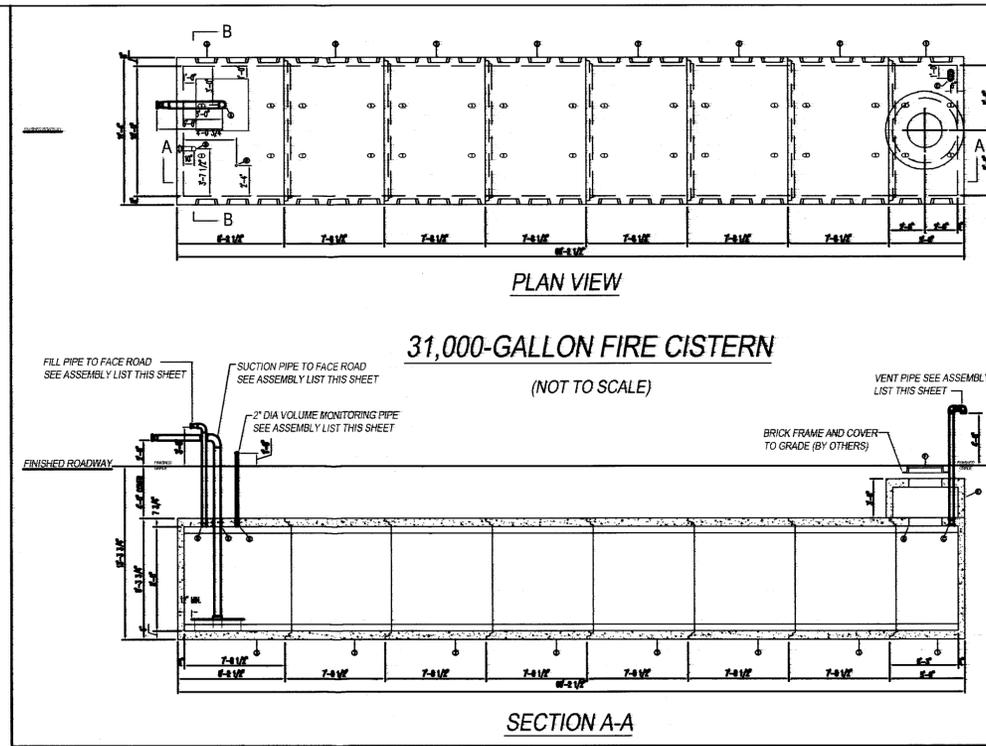
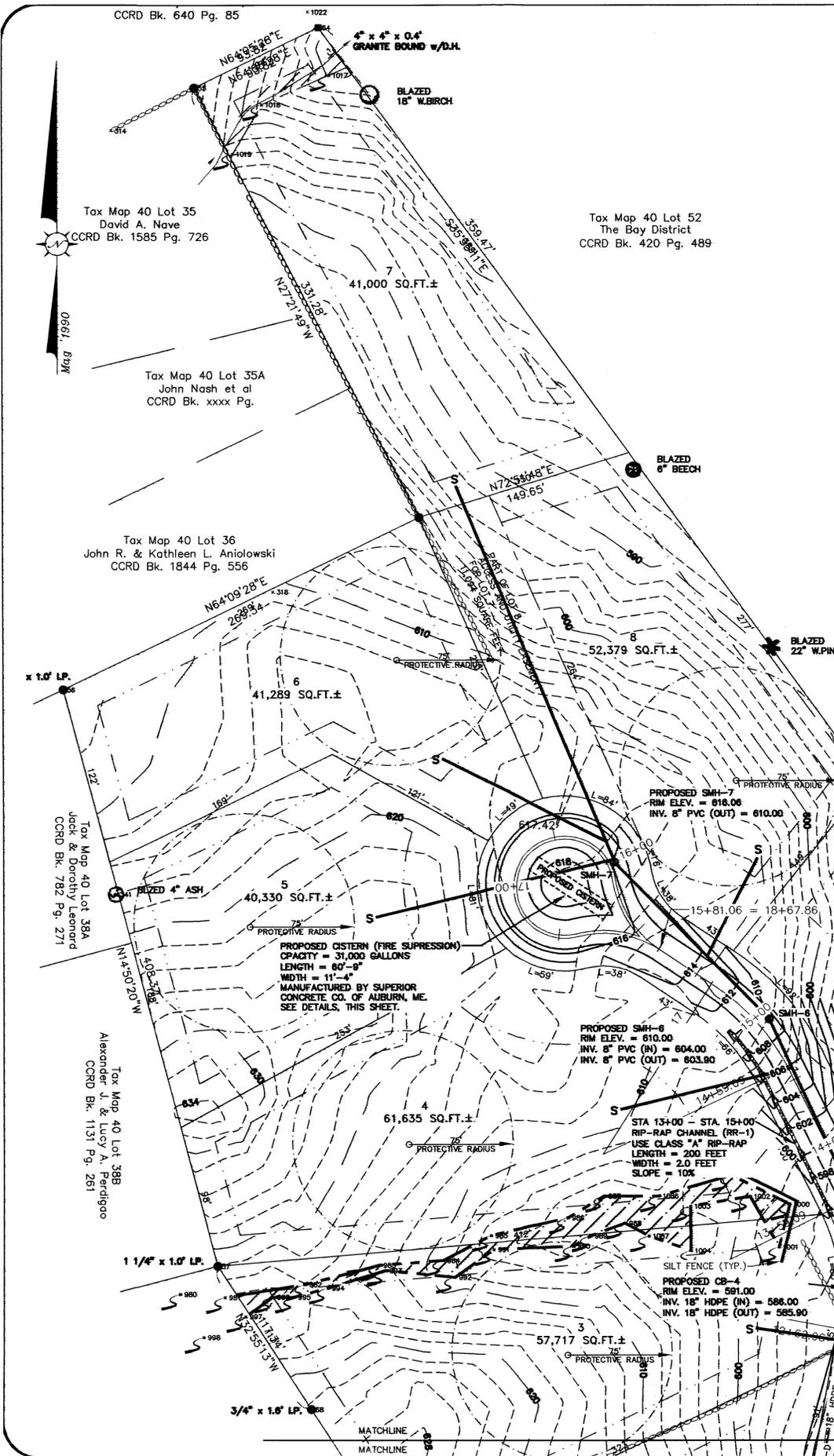


LOCUS

DRAWING INDEX :

- SHEET 1 PROPOSED PLAN
- SHEET 2 PROPOSED PLAN
- SHEET 3 ROAD PLAN & DETAILS
- SHEET 4 ROAD CROSS-SECTIONS
- SHEET 5 MISCELLANEOUS DETAILS PLAN -1
- SHEET 6 EROSION CONTROL DETAILS

NOVEMBER 19, 2004



- PIPE ASSEMBLY LISTS**
- FILL PIPE LIST:**
- 1) 4" STEEL SCH 40 PIPE X 7'-6" LONG THREADED X PLAIN END. CONNECT TO TOP OF TANK THRU WALL SLEEVE WITH LINK SEAL (THREAD TO ELBOW)
 - 2) 4" SCH 40 STEEL 90° ELBOW (THREAD TO VERTICAL PIPE, THREAD TO HORIZONTAL PIPE)
 - 3) 4" SCH 40 STEEL 90° ELBOW (THREAD TO 90° ELBOW, THREAD TO 4" X 2 1/2" X 2 1/2" SIAMASE FITTING)
 - 4) 4" X 2 1/2" X 2 1/2" SIAMASE FITTING (THREAD TO 4" DIA HORIZONTAL PIPE)
 - 5) 2 1/2" CAPS (THREAD TO 4" X 2 1/2" X 2 1/2" SIAMASE FITTING)
- SUCTION PIPE LIST:**
- 1) 48"x48"x .25" STEEL PLATE BOLTED 6" OFF OF INSIDE BASE OF TANK #1 (WELD TO 8" STEEL SCH 40 PIPE)
 - 2) 8" SCH 40 STEEL PIPE (THREAD WELD TO STEEL PLATE, THREAD TO 8" ELBOW)
 - 3) 4" SCH 40 STEEL 90° ELBOW (THREAD TO 8" PIPE, THREAD TO 8" REDUCER)
 - 4) 8'x 4" LONG STEEL PIPE (THREAD TO 8" 90° ELBOW, THREAD TO 6"x 1/2" NOZZLE)
 - 5) 8'x 4 1/2" PUMPER NOZZLE (THREAD TO 6" 90° ELBOW, THREAD TO 4 1/2" CAP)
 - 6) 4 1/2" CAP (THREAD TO PUMPER NOZZLE)
- SUCTION PIPE LIST:**
- 1) 4" SCH 40 PVC PIPE (CONNECT TO 90° ELBOW)
 - 2) 4" SCH 40 PVC 90° ELBOW (CONNECT TO 9" PIPE, CONNECT TO NIPPLE)
 - 3) 4" X 2" SCH 40 PVC NIPPLE (CONNECT TO BOTH ELBOWS)
 - 4) 4" SCH 40 PVC 90° ELBOW (CONNECT TO NIPPLE, INSTALL BUG SCREEN)
 - 5) BUG SCREEN (INSTALL IN ELBOW)
- SUCTION PIPE LIST:**
- 1) 2" DIA SCH 40 STEEL PIPE 6'-8" LONG THREADED X PLAIN END, CONNECT TO TOP OF TANK THROUGH WALL SLEEVE WITH LINK SEAL
 - 2) THREAD 2" CAP TO TOP OF 2" DIA SCH 40 STEEL PIPE
- DESIGN NOTES:**
1. Concrete Minimum Design Strength - 5,000 psi @ 28 days
 2. Steel Reinforcement - ASTM A-615, Grade 60 Rebar
ASTM A-185, Grade 65 Welded Wire Fabric
 3. Design Loading - AASHTO HS20-44
- NOTES:**
- 1) JOINTS TO BE SEALED WITH CONSEAL CS102 JOINT SEALANT.
 - 2) EXTERIOR COATINGS, IF REQUIRED, TO BE PROVIDED BY G.C.
 - 3) CONTRACTOR TO VERIFY ALL ELEVATIONS & PIPE PENETRATIONS.
- TYPICAL JOINT DETAIL**
- APPROX. WT. 7'-8 1/2" LG. MID SECTION = 12.2 TONS
 APPROX. WT. 5'-3" LG. INLET = 14.7 TONS
 APPROX. WT. 8'-2 1/2" LG. OUTLET = 19.6 TONS

Construction Note:
 Prior to commencement of construction activities, the outer margins of all wetlands shall be clearly marked off in such a way to prevent construction crews from entering or disturbing the wetlands.

SURVEYOR:

David M. Dolan Associates, P.C.
 Land Surveying
 Land Use Consulting

Harbor Square, Moultonborough
 P.O. Box 1581
 Center Harbor, N.H. 03226
 603-253-8011

WETLAND DELINEATION CERTIFICATION:
 JURISDICTIONAL WETLANDS WERE DELINEATED BY RANDALL SHUEY CWS #85 OF GOVE ENVIRONMENTAL SERVICES, OF EXETER, NH DURING MAY 15-16, 2000 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND. VERSION 2 JULY 1998. NEWPPC WETLANDS WORKGROUP. WILMINGTON, MA 01887.
- 2) NATIONAL LIST OF PLANTS SPECIES THAT OCCUR IN WETLANDS: 1988 NEW HAMPSHIRE. UNITED STATES DEPARTMENT OF THE INTERIOR. FISH AND WILDLIFE SERVICE. NERC-88/18.29.
- 3) CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL. JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. DECEMBER 1979. US DEPARTMENT OF THE INTERIOR. FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

TYPICAL WETLAND FLAG

PROPOSED CONDITIONS PLAN
TAX MAP 40, LOT 38
BEAN ROAD, MOULTONBOROUGH, NH

OWNER: CENTER HARBOR CHRISTIAN CHURCH
 C/O PASTOR BOB FARRAH
 BEAN ROAD
 CENTER HARBOR, NH 03226

PREPARED BY:

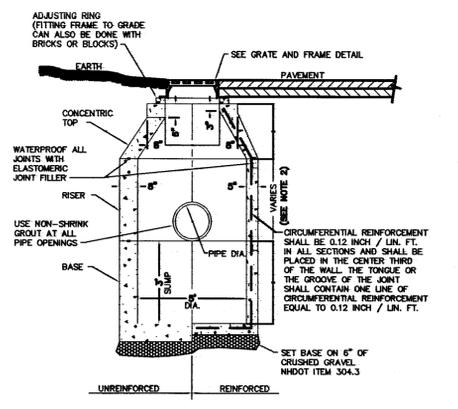
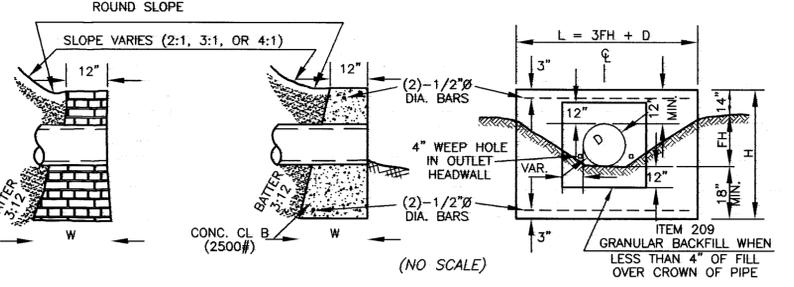
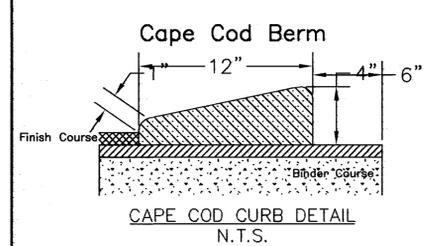
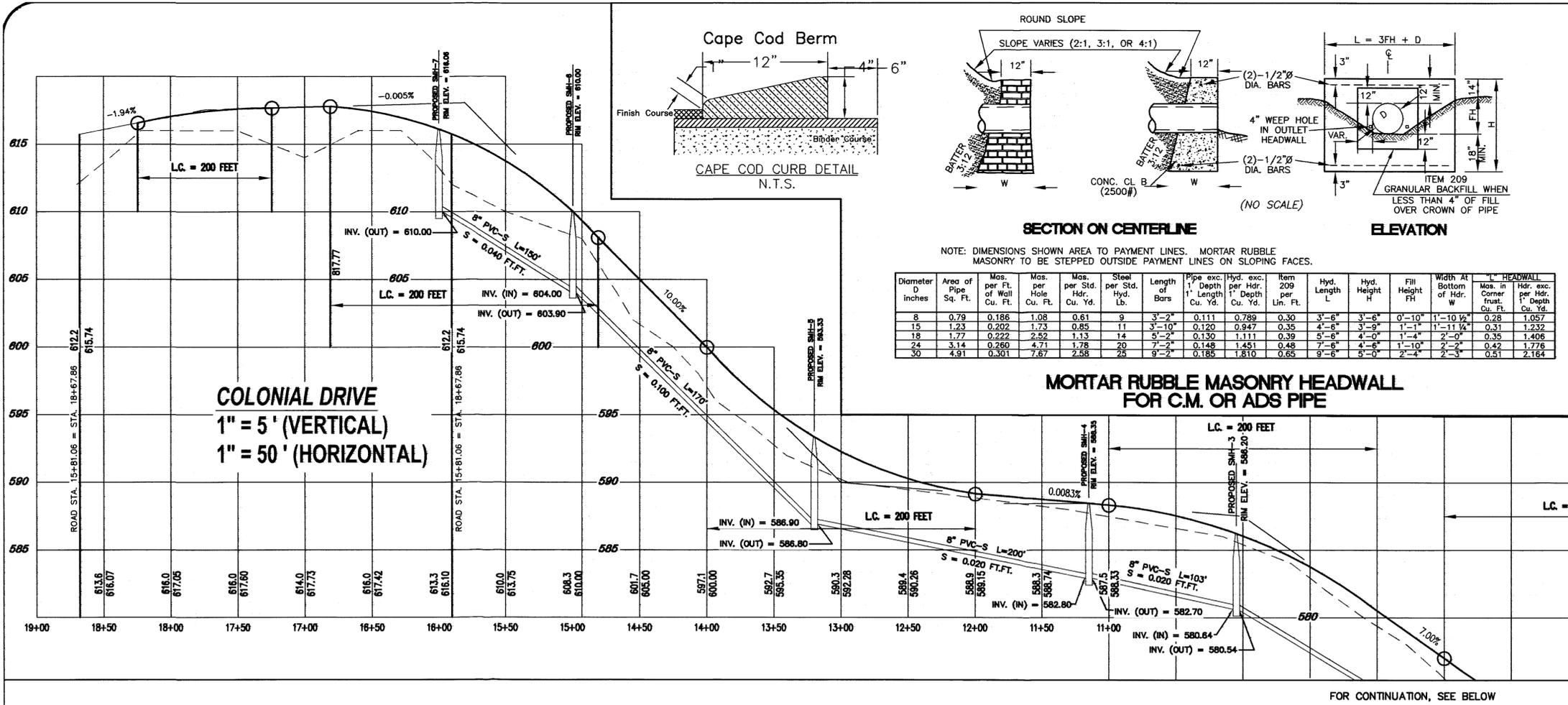
T. R. SELLING ENGINEERING, P.C.
 35 ACADEMY STREET
 LACONIA, NEW HAMPSHIRE 03246
 (603) 524-9321 FAX (603) 528-3138

| DATE | REVISION | INITIALS |
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DATE 11/19/04 JOB No. 2004-08BASE50.DWG-TRSE
 DRAWN BY: TRS
 SCALE: 1"=50' 0' 25' 50' 100' 150'

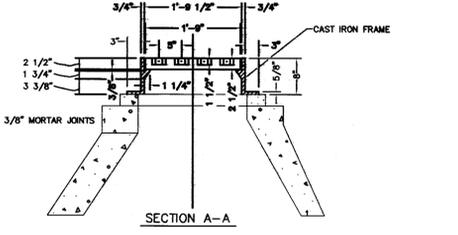
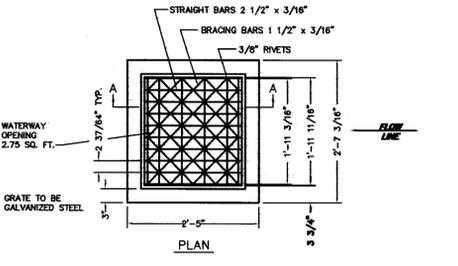
THOMAS R. SELLING
 LICENSED PROFESSIONAL ENGINEER
 No. 7593

11-19-04
 SHEET 2 OF 6

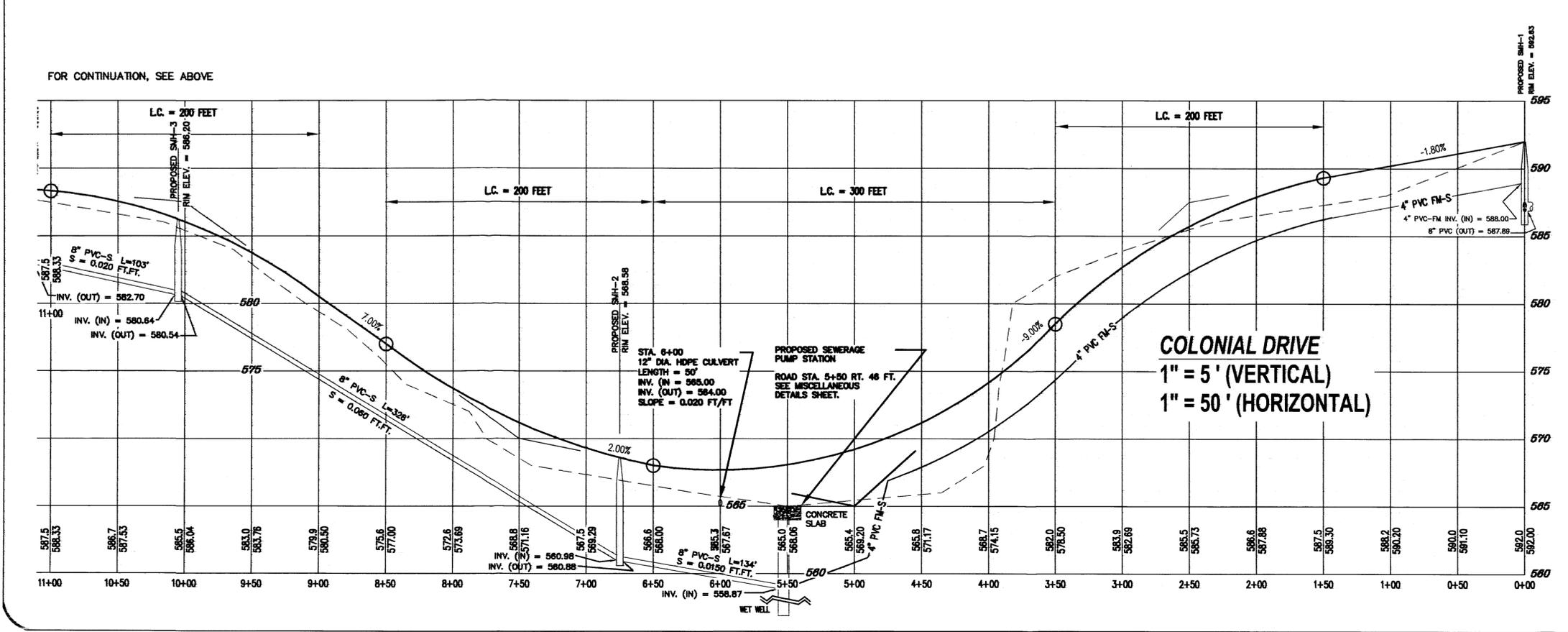


NOTES:
 1. ALL SECTIONS SHALL BE CONCRETE CLASS AA-4000 PER
 2. RISERS MAY BE 1", 2", 3" AND 4" HIGH TO REACH THE DESIRED DEPTH

PRECAST CATCH BASIN DETAIL
 NOT TO SCALE



GRATE AND FRAME DETAIL
 SCALE: NOT TO SCALE

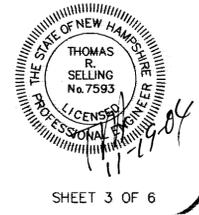


ROAD PROFILE & DETAILS PLAN
 MAP 141 STREET 252 LOT 1
 ENDICOTT STREET NORTH, LACONIA, NH

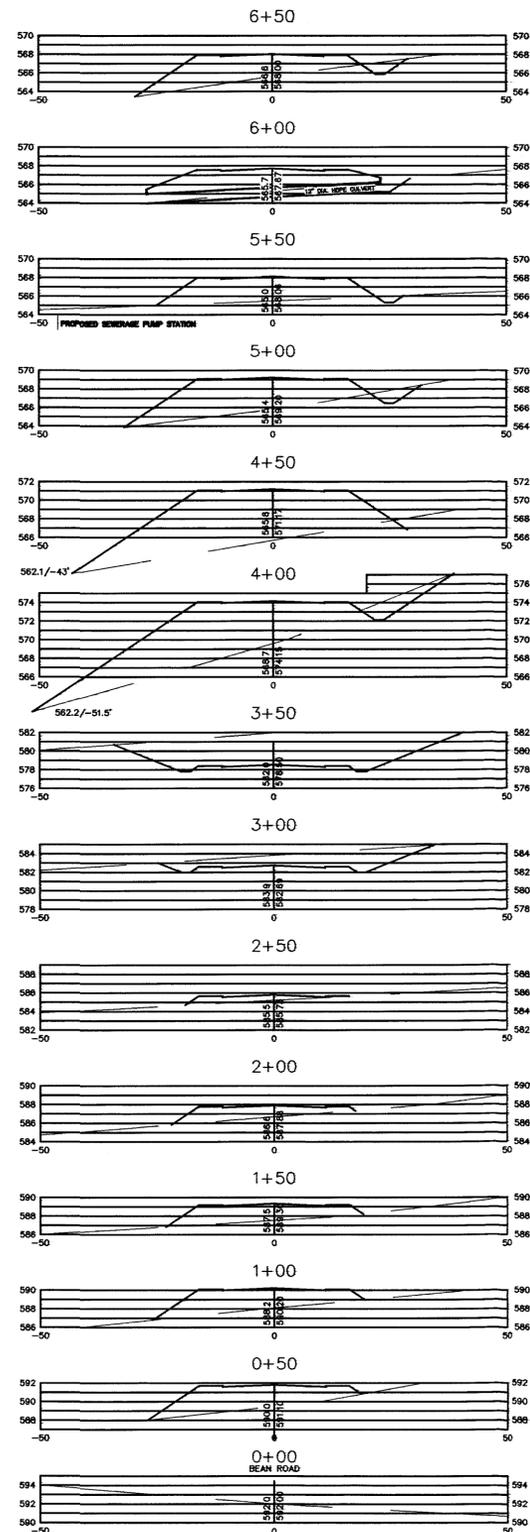
OWNER: CENTER HARBOR CHRISTIAN CHURCH
 C/O PASTOR BOB FARRAH
 BEAN ROAD
 CENTER HARBOR, NH 03226

PREPARED BY:
T. R. SELLING ENGINEERING, P.C.
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 (603) 524-9321 FAX (603) 528-3138

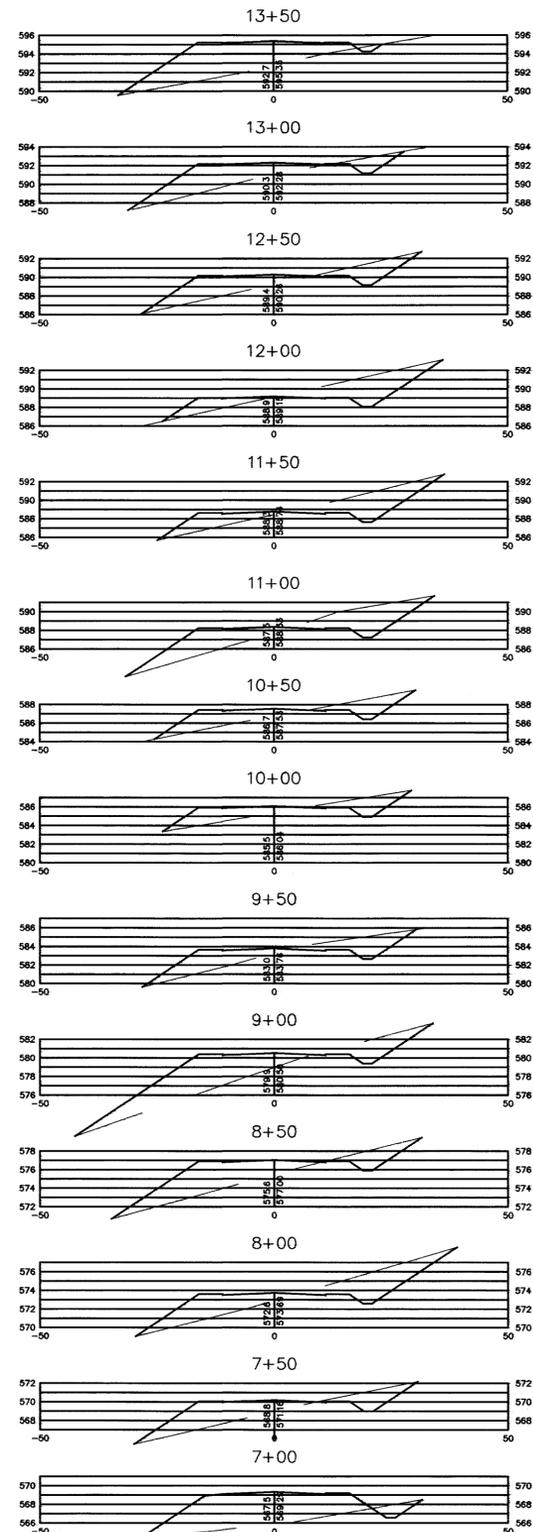
| DATE | REVISION | INITIALS |
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| 11/19/04 | | |
| DATE 11/19/04 JOB No. 2004-08 | | |
| DRAWN BY: TRS 2004-08BASE50.DWG-TRSE | | |



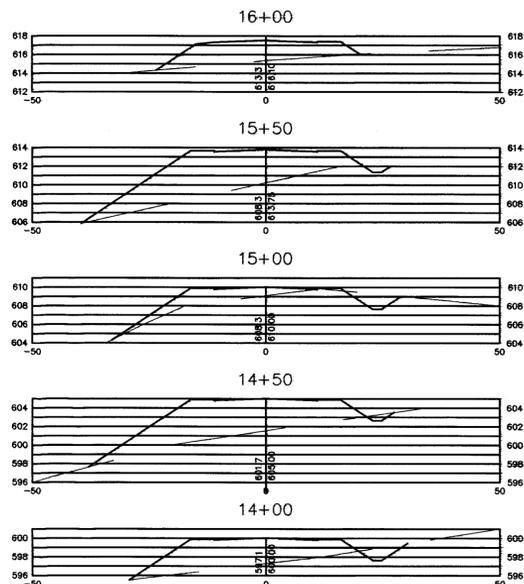
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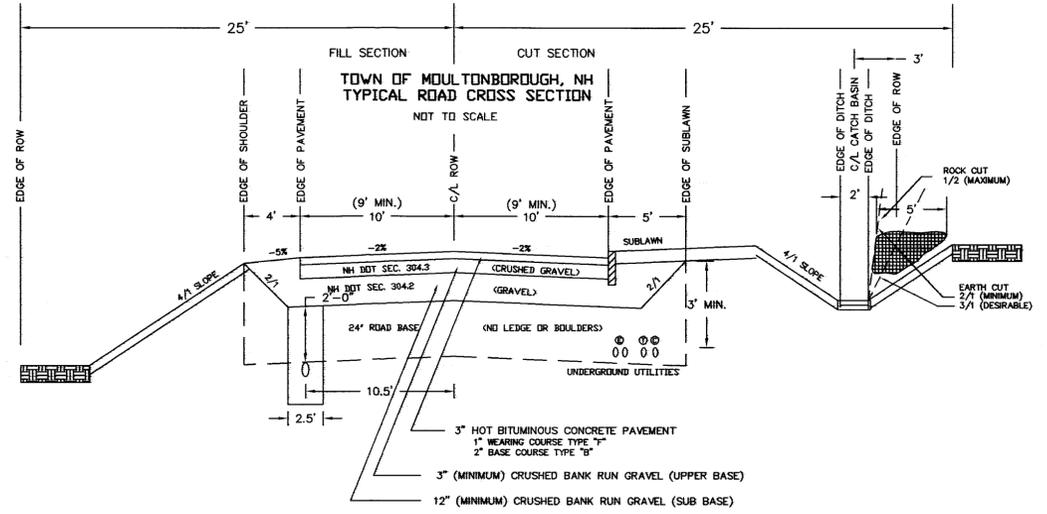
COLONIAL DRIVE CROSS-SECTIONS
 1" = 10' (VERTICAL)
 1" = 20' (HORIZONTAL)



COLONIAL DRIVE CROSS-SECTIONS
 1" = 10' (VERTICAL)
 1" = 20' (HORIZONTAL)



COLONIAL DRIVE CROSS-SECTIONS
 1" = 10' (VERTICAL)
 1" = 20' (HORIZONTAL)



MINIMUM OF 12 INCHES OF CRUSHED STONE TO BE PLACED AROUND PIPE. STONE TO BE WRAPPED WITH FILTER FABRIC. 6" POS. FIVE UNDERDRAINS (AS REQUIRED BY SITE CONDITIONS) UNDERDRAINS TO BE INSTALLED WHERE FIELD CONDITIONS FIND THAT THE SEASONAL HIGH WATER TABLE IS WITHIN 4 FEET OF THE ROAD SUB-BASE LAYER, OR AS DIRECTED BY THE TOWN OF MOULTONBOROUGH ROAD AGENT OR BY THE PROJECT ENGINEER. SEE PLAN FOR SPECIFIC LOCATIONS.

ALL ROADWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH N.H.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ANY DEVIATION FROM THE APPROVED PLANS AND SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE APPROPRIATE OFFICIAL OF THE TOWN OF MOULTONBOROUGH AND THE PROJECT ENGINEER. REMOVE ALL STUMPS AND ORGANIC MATERIAL FROM UNDER ROADWAY PRIOR TO PLACING ANY FILL.

UNDERGROUND UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AS SET FORTH IN THE FOLLOWING DOCUMENT: "PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE CONSTRUCTION SPECIFICATIONS FOR UNDERGROUND CONDUIT SYSTEMS" AND OR SIMILAR CONSTRUCTION REQUIREMENTS OF THE NH ELECTRIC CO-OPERATIVE.

MINIMUM CULVERT SIZE = 18" ADS (N-12) PIPE. MINIMUM CULVERT COVER = 3.0' BELOW CENTERLINE CROSSING. PROVIDE HEADWALL AT ALL PIPE OUTFALLS.

BEGIN TRANSITION OF INCREASED ROADSIDE SWALE DEPTH TO MEET DRIVEWAY CROSS CULVERT GRADE 12' BEFORE CULVERT INLET.



STOP SIGN
 (M.U.T.C.D. #R1-1)

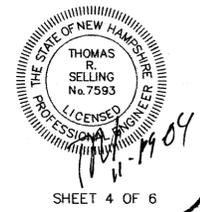
ROAD CROSS-SECTIONS
 MAP 141 STREET 252 LOT 1
 ENDICOTT STREET NORTH, LACONIA, NH

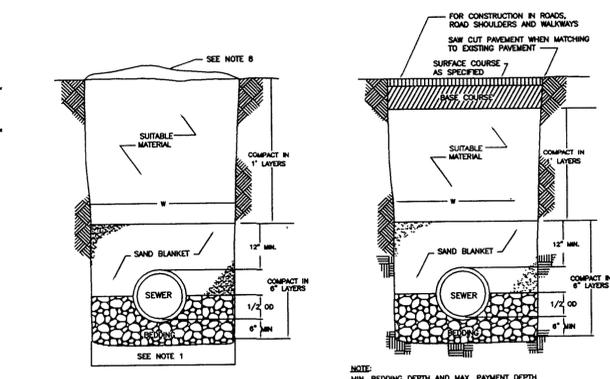
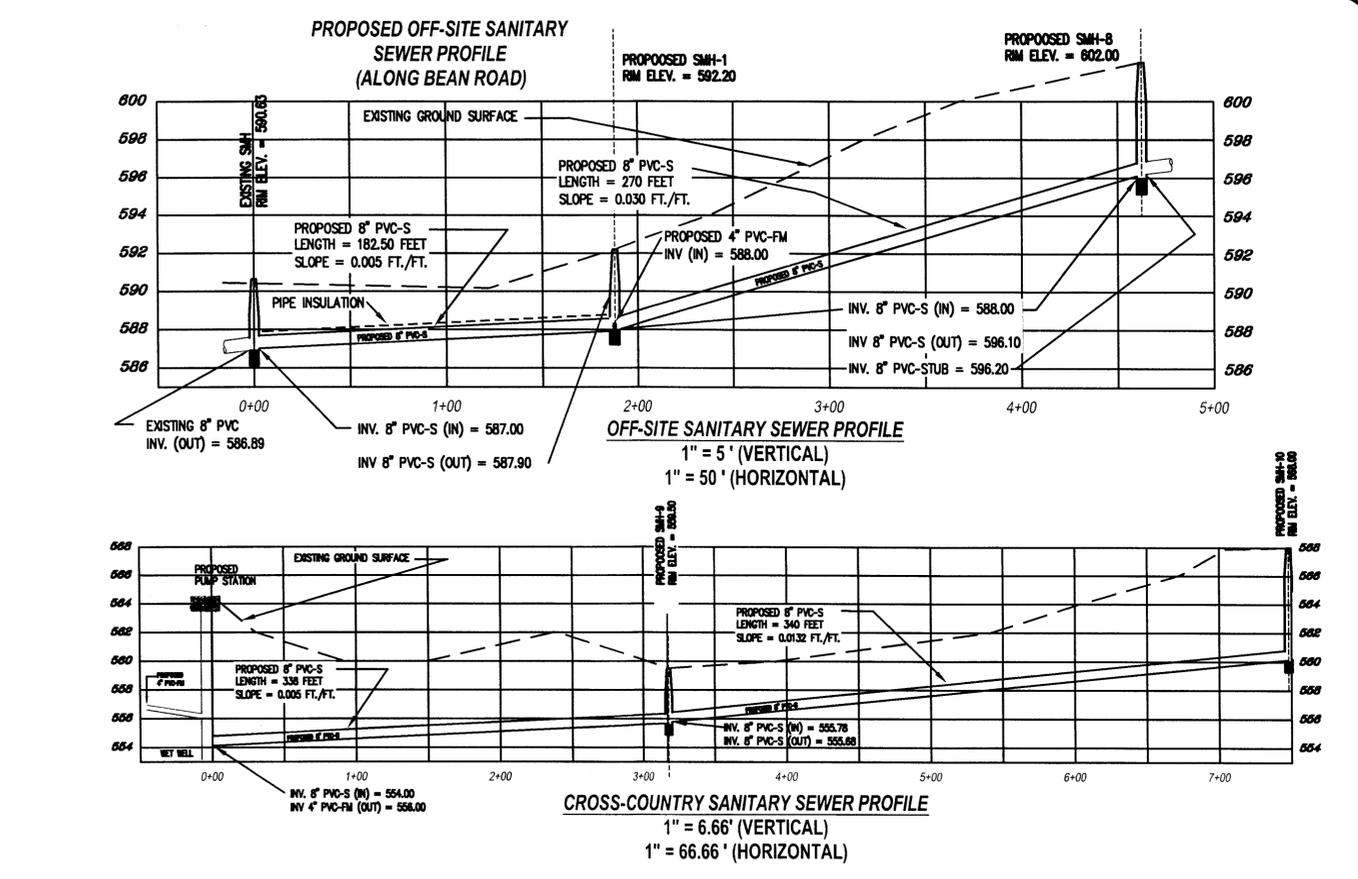
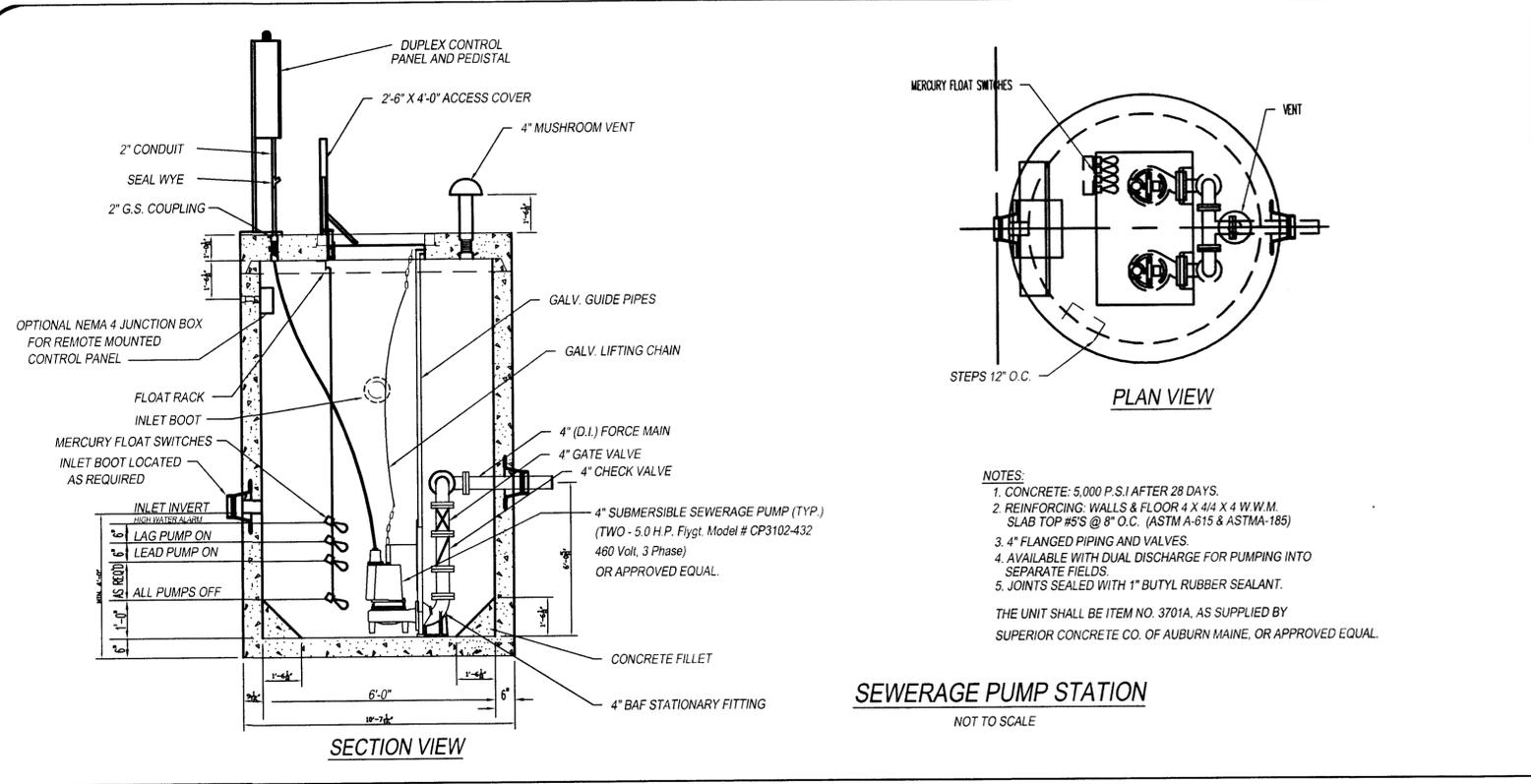
OWNER: CENTER HARBOR CHRISTIAN CHURCH
 C/O PASTOR BOB FARRAH
 BEAN ROAD
 CENTER HARBOR, NH 03226

PREPARED BY:
T. R. SELLING ENGINEERING, P.C.
 35 ACADEMY STREET
 LACONIA, NEW HAMPSHIRE 03246
 (603) 524-9321 FAX (603) 528-3138

| DATE | REVISION | INITIALS |
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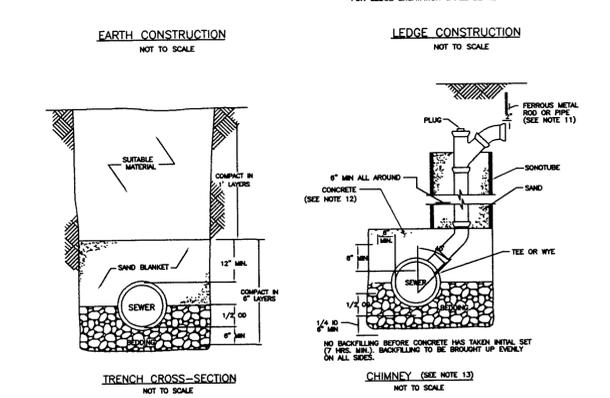
DATE 11/19/04 JOB No. 2004-04
 DRAWN BY: TRS 2004-08BASE50.DWG-TRSE
 SCALE: 1"=50' 0' 25' 50' 100' 150'





- GENERAL NOTES**
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL FOR TRENCH WIDTH SEE NOTE 7.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.

| | |
|------------------|-----------------|
| 100% PASSING | 1 INCH SCREEN |
| 90%-100% PASSING | 3/4 INCH SCREEN |
| 20%-55% PASSING | 3/8 INCH SCREEN |
| 0%-10% PASSING | #4 SIEVE |
| 0%-5% PASSING | #8 SIEVE |
 - SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER SO GRADED THAT 90%-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #20 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.
 - SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
 - BASE COURSE, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION.
 - WOOD SHEETING, IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
 - W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 - FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED.



- GENERAL NOTES**
- MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE FOUR INCHES.
 - PIPE AND JOINT MATERIALS:
 - PLASTIC SEWER PIPE

| ASTM STANDARDS | GENERIC PIPE MATERIAL | SIZES APPROVED |
|----------------|-----------------------|--------------------------------|
| D3034 | PPVC (SOLID WALL) | 8" THROUGH 15" (SDR 35) |
| F797 | PVC (SOLID WALL) | 1 1/2" THROUGH 24" (1-1 & 1-2) |
| F794 | PVC (SOLID WALL) | 4" THROUGH 18" (1-1 TO 1-3) |
| F794 | PVC (RIBBED WALL) | 8" THROUGH 36" |
| D2680 | ABS (COMPOSITE WALL) | 8" THROUGH 15" |

 *PVC: POLY VINYL CHLORIDE
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
 - JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1789 (CLASS 322).
JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
 - DUCTILE-IRON PIPE, FITTINGS AND JOINTS.

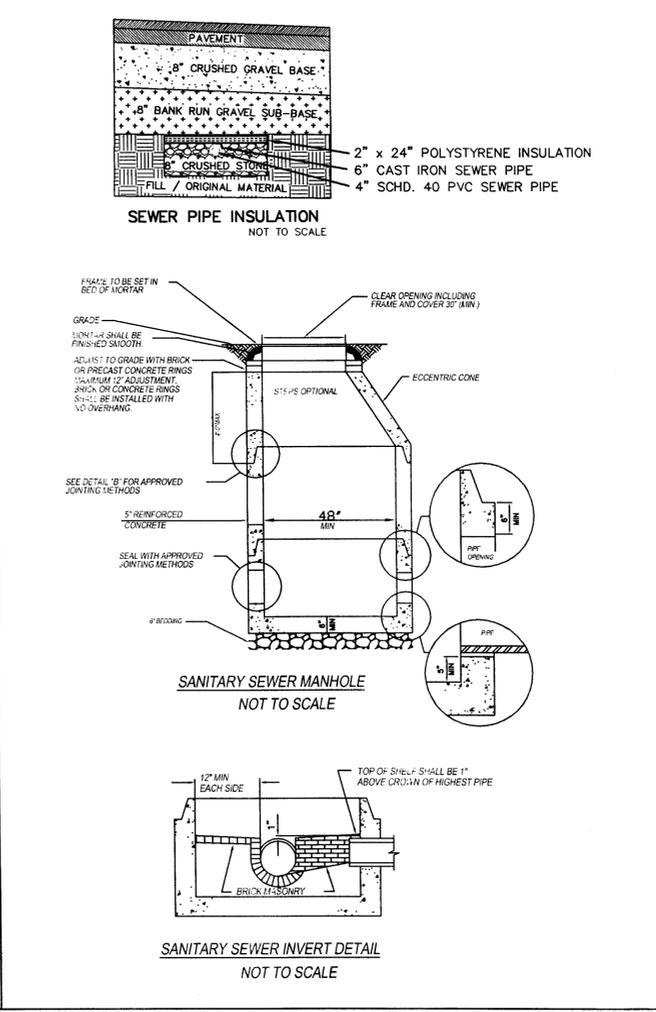
| ASTM STANDARDS | GENERIC PIPE MATERIAL | SIZES APPROVED |
|----------------|-----------------------|--------------------------------|
| D3034 | PPVC (SOLID WALL) | 8" THROUGH 15" (SDR 35) |
| F797 | PVC (SOLID WALL) | 1 1/2" THROUGH 24" (1-1 & 1-2) |
| F794 | PVC (SOLID WALL) | 4" THROUGH 18" (1-1 TO 1-3) |
| F794 | PVC (RIBBED WALL) | 8" THROUGH 36" |
| D2680 | ABS (COMPOSITE WALL) | 8" THROUGH 15" |

 *PVC: POLY VINYL CHLORIDE
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
 - JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
 - A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS
 - DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
 - JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
 - HOUSE SEWER INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE MANUFACTURER.
 - THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/8 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DRY THE TRENCH.
 - TESTING: THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
 - AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 - THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER, TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
 - DRY FLUORESCENCE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWN STREAM MANHOLE.
 LEAKAGE OBSERVED IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.
 - ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM HOUSE TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
 - HOUSE WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.

| | |
|------------------|-----------------|
| 100% PASSING | 1 INCH SCREEN |
| 90%-100% PASSING | 3/4 INCH SCREEN |
| 20%-55% PASSING | 3/8 INCH SCREEN |
| 0%-10% PASSING | #4 SIEVE |
| 0%-5% PASSING | #8 SIEVE |

 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.
 - LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
 - CONCRETE: CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARDS SPECIFICATIONS AS FOLLOWS:

| |
|---------------------------------------|
| CEMENT: 8.0 BAGS PER CUBIC YARD |
| WATER: 5.75 GALLONS PER BAG CEMENT |
| MAXIMUM SIZE OF AGGREGATE: 1-1/2 INCH |
 - CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



MISCELLANEOUS DETAILS
TAX MAP 40, LOT 38
BEAN ROAD, MOULTONBOROUGH, NH

OWNER: CENTER HARBOR CHRISTIAN CHURCH
C/O PASTOR BOB FARAH
BEAN ROAD
CENTER HARBOR, NH 03226

PREPARED BY:
T. R. SELLING ENGINEERING, P.C.
35 ACADEMY STREET
LACONIA, NEW HAMPSHIRE 03246
(603) 524-9321 FAX (603) 528-3138

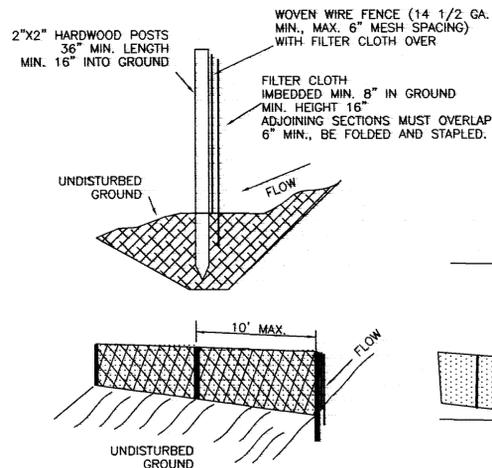
| DATE | REVISION | INITIALS |
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DATE 11/19/04 JOB No. 2004-08
DRAWN BY: TRS 2004-0BASE50.DWG-TRSE
SCALE: NONE

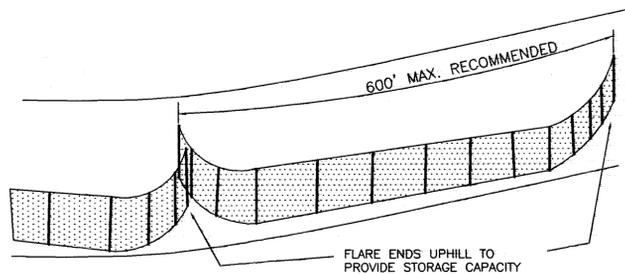
THOMAS R. SELLING
No. 7593
LICENSED PROFESSIONAL ENGINEER
4/12/08

SHEET 5 OF 6

SILT FENCE TYPICAL
N.T.S.



SILT FENCE LAYOUT



CONSTRUCTION NOTES FOR FABRICATED SILT FENCES

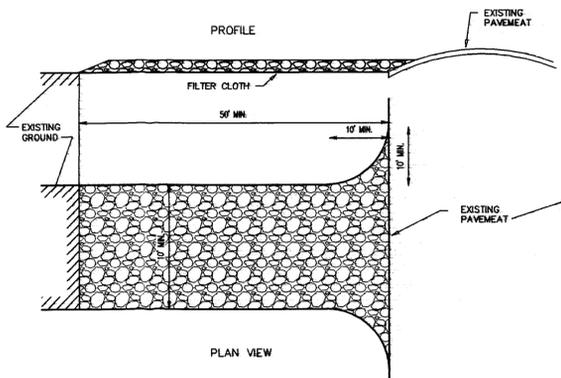
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF ANY FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE

TYPICAL CONSTRUCTION SEQUENCE

1. ALL DISTURBED AREAS SHALL BE LOAM AND SEEDED WITHIN 60 DAYS.
2. INSTALL TEMPORARY EROSION CONTROL HAY BALES AND OR SILT FENCE AT EXISTING WATERWAY OUTFLOWS OF CONSTRUCTION AREA. INSPECT AND MAINTAIN ALL EROSION CONTROL DEVICES DURING THE ENTIRE PROJECT, ESPECIALLY DURING PERIODS OF RAIN OR SNOW MELT.
3. CUT AND REMOVE ALL TREES AND STUMPS FROM THE WORK AREA.
4. CONSTRUCT TEMPORARY AND PERMANENT EROSION, SEDIMENT, AND DETENTION FACILITIES BEFORE EARTH MOVING IN THE WORK AREA.
5. GRUB AND REMOVE TOPSOIL FROM THE WORK SITE AND STOCKPILE FOR FUTURE RESPREADING ON DISTURBED AREAS.
6. INSTALL ALL PERMANENT DITCHING, RIP-RAP AND GRASS LINES SWALES AND ALL CATCH BASINS AND CULVERTS, AS SOON AS ACCESS IS ACHIEVED.
7. CONSTRUCT ROADWAY TO FINISH GRAVEL GRADE PRIOR TO BEGINNING NEXT PHASE OF ROADWAY OR PRIOR TO SITE DEVELOPMENT FOR HOME CONSTRUCTION.
8. STABILIZE ALL DISTURBED SIDESLOPE EMBANKMENTS WITH A MINIMUM OF 4" OF LOAM, SEEDED AND MULCHED IMMEDIATELY AFTER GRADING TO PROVIDE CONTROL OF SURFACE RUNOFF.
9. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HRS. AFTER FINAL GRADING. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN 20 LBS/AC. OF TALL FESCUE, 20 LBS/AC. OF CREEPING RED FESCUE, AND 8 LBS/AC. OF BIRDSFOOT TREFLOIL. [TOTAL OF 48 LBS/AC. HAY MULCH SHALL BE APPLIED ON ALL LOAMED AND SEEDED AREAS TO MINIMIZE LOSS BY WIND AND WATER.
10. ALL CUT AND FILL SLOPES SHALL BE SEEDED IMMEDIATELY AND STABILIZED. THE USE OF MATTING IS RECOMMENDED ON ALL SLOPES GREATER THAN 3:1. ALL AREAS NOT STABILIZED BY NOV. 1ST MUST BE PROTECTED BY EROSION CONTROL BLANKETS OR EQUIVALENT AND MULCHED WITH WINTER RYE OR OATS.
11. PROVIDE FINISH ROADWAY SURFACE AND SHOULDER GRADING.
12. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONLY AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED BY A HEALTHY STAND OF VEGETATION OR OTHER PERMANENT NON-ERODABLE MATERIAL IS IN PLACE.

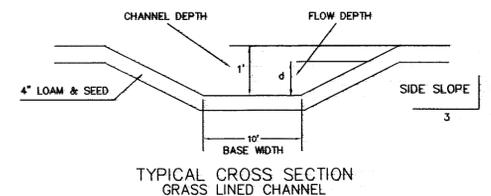


1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE (SCE) SHALL BE 1"-2" STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE SCE SHALL NOT BE LESS THAN 50'.
3. THE THICKNESS OF THE STONE FOR THE SCE SHALL NOT BE LESS THAN 6".
4. THE WIDTH OF THE SCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS AND EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE SCE SHALL BE PIPED BENEATH THE SURFACE. IF PIPING IS IMPRACTICAL, A BERM WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

CONSTRUCTION SPECIFICATIONS

1. THE SUBGRADE FOR THE 4" LOAM AND SEED SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.



GRASS-LINED SWALE DETAILS.

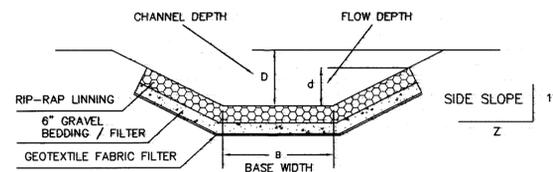
| GRASS SWALE # | LENGTH | BASE WIDTH | s = ft/ft | DESIGN FLOW | DESIGN VELOCITY | CHANNEL DEPTH | FLOW DEPTH |
|---------------|--------|------------|-----------|-------------|-----------------|---------------|------------|
| TSWALE #1 | 100' | 10' | .0008' | 6.77 CFS | 1.0 ft/sec | 1.0' | 0.71' |

Construction Note:

Prior to commencement of construction activities, the outer margins of all wetlands shall be clearly marked off in such a way to prevent construction crews from entering or disturbing the wetlands.

CONSTRUCTION SPECIFICATIONS

1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.



TYPICAL CROSS SECTION FOR RIPRAP LINED CHANNEL

| RECOMMENDED RIPRAP GRADATION RANGE | | |
|-----------------------------------------------|---------------|-------|
| % OF WEIGHT SMALLER THAN THE GIVEN SIZE (d50) | SIZE OF STONE | (d50) |
| 100 | (1.5 TO 2.0) | (d50) |
| 85 | (1.3 TO 1.8) | (d50) |
| 50 | (1.0 TO 1.5) | (d50) |
| 15 | (0.3 TO 0.5) | (d50) |

| NOTES: | | |
|---------------------------|---|-----------|
| RIPRAP DEPTH = (1.5)(d50) | | |
| d50 STONE SIZE | | |
| < 12" | = | CLASS "A" |
| > 12" BUT < 16.7" | = | CLASS "B" |
| > 16.7" BUT < 18.5" | = | CLASS "C" |
| > 18.5" | = | CLASS "D" |

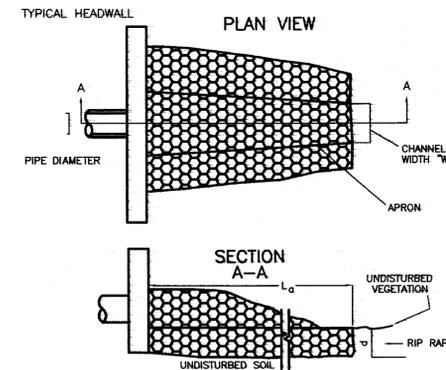
TYPICAL ROADSIDE RIPRAP SWALE DETAILS.

ALL ROADSIDE RIPRAP LINED DITCHES SHALL HAVE:
3' BASE WIDTH (B)
2/1 SIDE SLOPES (Z)
0.83' CHANNEL DEPTH (D)
PROVIDE FOR A MINIMUM FLOW DEPTH (d) OF 0.4'
USE NH DOT CLASS "A" RIPRAP STONE AND BE 1.0' IN THICKNESS W/
6" GRAVEL BEDDING AND GEOTEXTILE FABRIC FILTER.

OTHER RIPRAP SWALE DETAILS. ALL RIP-RAP LINED DITCHES SHALL USE DOT CLASS "A" RIP-RAP STONE AND BE 1.0' IN THICKNESS W/6" GRAVEL BEDDING AND GEOTEXTILE FABRIC FILTER.

| RIPRAP LOCATION | RIPRAP SWALE # | LENGTH | BASE WIDTH | SIDE SLOPE | s = ft/ft | d50 | RIPRAP CLASS | RIPRAP DEPTH | CHANNEL DEPTH | FLOW DEPTH |
|-----------------|----------------|--------|------------|------------|-----------|------|--------------|--------------|---------------|------------|
| 15+00-13+00 | RR-1 | 200' | 2' | 3/1 | 0.100 | 6.9" | A | 1' | 1' | .29 |
| 13+00-10+00 | RR-2 | 300' | 2' | 3/1 | 0.010 | 6.9" | A | 1' | 1' | .29 |
| 10+00-6+00 | RR-3 | 400' | 2' | 3/1 | 0.070 | 6.9" | A | 1' | 1' | .29 |

PIPE OUTLET PROTECTION TO WELL-DEFINED CHANNEL
N.T.S.



NOTE: GEOTEXTILE FABRIC OR FILTER MATERIAL TO BE PLACED BETWEEN RIPRAP AND SOIL.

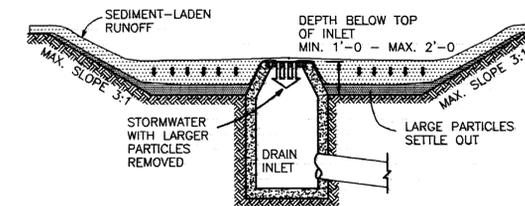
CONSTRUCTION SPECIFICATIONS

1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
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3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. THE BOTTOM WIDTH OF THE APRON SHALL BE EQUAL TO THE WIDTH OF CHANNEL.
6. THE SIDESLOPE OF THE APRON SHALL BE 2:1 MAX. THE HEIGHT OF THE STRUCTURAL LINING ALONG THE CHANNEL SIDES SHALL BEGIN AT THE ELEVATION EQUAL TO THE TOP OF CONDUIT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
7. THE BOTTOM GRADE OF THE APRON SHALL BE LEVEL (OR GRADE) NO OVERFALL IS ALLOWABLE AT THE END OF THE APRON.
8. THE APRON SHALL BE LOCATED SO THAT THERE ARE NO BENDS IN THE HORIZONTAL ALIGNMENT OF THE APRON.

OUTLET PROTECTION SPECS.

| OUTLET DEVICE STA. | L _o | W | d | d ₅₀ |
|--------------------|----------------|------|------|-----------------|
| STA 6+00 | 16' | 4.5' | 1.5' | 10' |

ALL OUTLET PROTECTION SHALL USE DOT CLASS "A" RIPRAP STONE AND BE 1.0' IN THICKNESS W/6" GRAVEL BEDDING AND GEOTEXTILE FABRIC FILTER.



NOTES:

1. THE TRAP SHOULD BE EXCAVATED AROUND THE INLET TO PROVIDE 67 CUBIC FEET OF STORAGE PER ACRE OF DRAINAGE AREA TO THE INLET. THE TRAP SHOULD BE NO LESS THAN 1 FOOT DEEP OR NO MORE THAN 2 FEET DEEP WHEN MEASURED FROM THE TOP OF THE INLET. SIDESLOPES SHOULD BE 3:1 OR FLATTER.
2. THE DIMENSIONS OF THE EXCAVATION SHOULD BE BASED ON THE SITE CONDITIONS. NORMALLY THE TRAPS ARE SQUARE, HOWEVER IF THERE IS CONCENTRATED FLOW BEING DIRECTED INTO THE TRAP THEN THE TRAP SHOULD BE RECTANGULAR WITH THE LONG DIMENSION ORIENTATED IN THE DIRECTION OF THE FLOW

TEMPORARY STORM DRAIN INLET PROTECTION
(NO SCALE)

SEE NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SEC. 583 FOR RIPRAP SPECIFICATIONS.

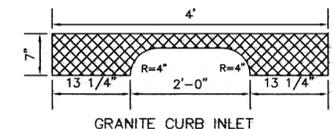
CLASS "A" RIPRAP, 75% OF STONES SHALL HAVE A MINIMUM VOLUME OF 2 CU. FT; THE REMAINDER SHALL HAVE A MINIMUM VOLUME OF 1/2 CU. FT.

CLASS "B" RIPRAP, 75% OF STONES SHALL HAVE A MINIMUM VOLUME OF 8 CU. FT.

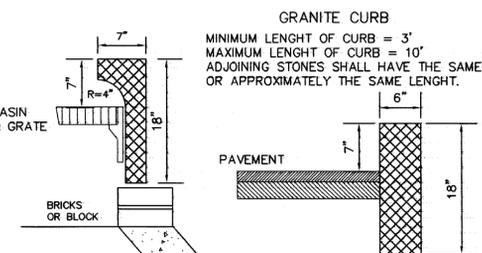
CLASS "C" RIPRAP, 75% OF STONES SHALL HAVE A MINIMUM VOLUME OF 12 CU. FT.

CLASS "D" RIPRAP, 75% OF STONES SHALL HAVE A MINIMUM VOLUME OF 18 CU. FT.

| NH DOT STANDARD RIPRAP GRADATIONS | | | |
|-----------------------------------|----------------|-----------------|----------------------|
| CLASS | MINIMUM VOLUME | 75% MIN. VOLUME | MINIMUM RIPRAP DEPTH |
| A | 0.5 Cu. Ft. | 2.0 Cu. Ft. | 12" |
| B | 0.5 Cu. Ft. | 8.0 Cu. Ft. | 18" |
| C | 0.5 Cu. Ft. | 12.0 Cu. Ft. | 24" |
| D | 0.5 Cu. Ft. | 18.0 Cu. Ft. | 30" |



GRANITE CURB INLET

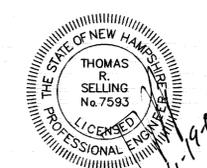


GRANITE CURB
MINIMUM LENGTH OF CURB = 3'
MAXIMUM LENGTH OF CURB = 10'
ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

PREPARED BY:

T. R. SELLING ENGINEERING, P.C.
35 ACADEMY STREET
LACONIA, NEW HAMPSHIRE 03246
TEL.: (603) 524-9321 FAX: (603) 528-3138

DATE 11/19/04 JOB No.
DRAWN BY: TRS 2004-08ASE50.DWG-TRSE
SCALE:



EROSION CONTROL DETAILS
MAP 40, LOT 38
BEAN ROAD, MOULTONBOROUGH, NH

OWNER: CENTER HARBOR CHRISTIAN CHURCH
C/O PASTOR BOB FARRAH
BEAN ROAD
CENTER HARBOR, NH 03226

Center Harbor Christian Church

Rev. Robert P. Farah, Pastor • P.O. Box 350 • Center Harbor • New Hampshire 03226

Telephones (603) 253-8008 Office • (603) 253-7142 Residence

July 5, 2005

Mr. Brad Foster
New Hampshire Department of Environmental Services
Wastewater Engineering Bureau
6 Hazen Drive
P. O. Box 95
Concord, NH 03302-0095

Re: Wastewater Discharge Permit Request - Winnepesaukee River Basin Program
Center Harbor Christian Church
Bean Road, Moultonborough, New Hampshire

Dear Mr. Foster:

Pursuant to your telephone conversation on June 30, 2005 with Mr. Thomas R. Selling, P.E. with T. R. Selling Engineering, P.C. we are pleased to provide the following information.

Pump Station Maintenance

The Center Harbor Christian Church will be responsible for the proper operation and maintenance of the proposed sewerage pump station at the above referenced residential subdivision until it is taken over by the Bay District Sewer Commission or an interim owner.

We understand the Bay District Sewer Commission would like us to operate and maintain the sewerage pump station for five years before they will allow us to petition them for assuming the full responsibility for the pump station. If the project (and sewerage pump station) are purchased by another owner before the five year period is over, we will obligate the new owner to properly maintain the sewerage pump station until the Bay District Sewer Commission assumes responsibility for it.

If you have any questions, please call me.

Sincerely,

* → Scott Farah
"In Jail - Ponzi Scheme"